



HOME OF PELICAN ISLAND

1225 MAIN STREET ■ SEBASTIAN, FLORIDA 32958
TELEPHONE (772) 589-5518 ■ FAX (772) 388-8248

AGENDA
PLANNING AND ZONING COMMISSION
THURSDAY, JULY 16, 2020 – 6:00 P.M.

CITY COUNCIL CHAMBERS
1225 MAIN STREET, SEBASTIAN, FLORIDA

ALL AGENDA ITEMS MAY BE INSPECTED IN THE OFFICE OF COMMUNITY DEVELOPMENT
1225 MAIN STREET, SEBASTIAN, FLORIDA OR ON THE CITY WEBSITE

1. **CALL TO ORDER**
2. **PLEDGE OF ALLEGIANCE**
3. **ROLL CALL**
4. **ANNOUNCEMENTS AND/OR AGENDA MODIFICATIONS**
Modifications and additions require unanimous vote of members. Deletions do not apply.
5. **APPROVAL OF MINUTES** None
6. **QUASI-JUDICIAL PUBLIC HEARINGS**
 - *Chairman opens hearing, attorney reads ordinance or resolution or title*
 - *Commissioners disclose ex-parte communication*
 - *Chairman or attorney swears in all who intend to provide testimony*
 - *Applicant or applicant's agent makes presentation*
 - *Staff presents findings and analysis*
 - *Commissioners asks questions of the applicant and staff*
 - *Chairman opens the floor for anyone in favor and anyone opposing the request (anyone presenting factual information shall be sworn but anyone merely advocating approval or denial need not be sworn in)*
 - *Applicant provided opportunity to respond to issues raised by staff or public*
 - *Staff provided opportunity to summarize request*
 - *Commission deliberation and questions*
 - *Chairman calls for a motion*
 - *Commission Action*

A. **Quasi-Judicial Public Hearing – Site Plan Modification – American Legion Post #189 - Proposed 1620 SF Building Addition & 1225 SF Outdoor Event Building – 807 Louisiana Avenue – Public Service (PS) Zoning District**
7. **UNFINISHED BUSINESS** None
8. **PUBLIC INPUT**
Public Input on items other than on the printed agenda, is five minutes, however, it can be extended or terminated by a majority vote of members present

9. NEW BUSINESS

A. **Accessory Structure Review** – LDC Section 54-2-7.5 – 841 Dolores Street – 576 SF Detached Garage – Albert Berry

10. COMMISSIONERS MATTERS

11. CITY ATTORNEY MATTERS

12. STAFF MATTERS

13. ITEMS FOR NEXT AGENDA

14. ADJOURN

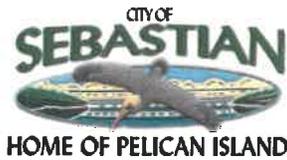
DUE TO HEALTH CONCERNS REGARDING CORONAVIRUS, ALTERNATIVE METHODS WILL BE IN PLACE FOR THE PUBLIC TO PROVIDE INPUT REGARDING THIS MEETING. INTERESTED PARTIES MAY CONTACT THE CITY AT 772-388-8226 OR E-MAIL QUESTIONS AT COSTV@COSTV.CITYOFSEBASTIAN.ORG OR MAY VISIT THE CITY'S WEBSITE AT <http://www.cityofsebastian.org/public-input-methods>.

HEARING ASSISTANCE HEADPHONES ARE AVAILABLE IN THE COUNCIL CHAMBERS FOR ALL GOVERNMENT MEETINGS.

ANY PERSON WHO DECIDES TO APPEAL ANY DECISION MADE WITH RESPECT TO ANY MATTER CONSIDERED AT THIS MEETING WILL NEED A RECORD OF THE PROCEEDINGS AND MAY NEED TO ENSURE THAT A VERBATIM RECORD OF THE PROCEEDINGS IS MADE, WHICH RECORD INCLUDES THE TESTIMONY AND EVIDENCE UPON WHICH THE APPEAL IS TO BE HEARD. (F.S.286.0105)

IN COMPLIANCE WITH THE AMERICAN WITH DISABILITIES ACT (ADA), ANYONE WHO NEEDS A SPECIAL ACCOMMODATION FOR THIS MEETING SHOULD CONTACT THE CITY'S ADA COORDINATOR AT 589-5330 AT LEAST 48 HOURS IN ADVANCE OF THIS MEETING.

All government meetings in City Council Chambers will be broadcast live on COS-TV Comcast Channel 25 and ATT UVerse Channel 99 and streamed via the city website – www.cityofsebastian.org unless otherwise noticed and rebroadcast at a later date – see COS-TV Channel 25 for broadcast schedule



COMMUNITY DEVELOPMENT DEPARTMENT

Site Plan Review Staff Report

1. **Project Name:** American Legion Post #189 Modification
2. **Requested Action:** Approval of a site modification plan consisting of construction of a 1,620 SF building addition and a new detached 1,224 SF outdoor events building along with required parking, stormwater, landscaping, and site amenities, including improvements to Louisiana Avenue.
3. **Project Location**
 - a. **Address:** 807 Louisiana Avenue
 - b. **Legal:** Metes and bounds, as described and shown on a boundary and topographic survey submitted with the project application
 - c. **Indian River County Parcel Numbers:** 31-39-06-00000-5000-00025.0
31-39-07-00000-3000-00004.0
4. **Project Owner:** American Legion
Charles L. Futch Post #189
807 Louisiana Avenue
Sebastian, Florida 32958
(772) 589-8710
5. **Project Engineer:** Mr. Todd N. Smith, P.E.
1717 Indian River Boulevard, Suite 302
Vero Beach, Florida 32962
(772) 559-3699
6. **Project Surveyor:** Mr. William Zentz, PLS
William B. Zentz & Associates, Inc.
684 Old Dixie Highway
Vero Beach, Florida 32962
(772) 567-7552
7. **Project Description**
 - a. **Narrative of proposed action:** The American Legion has filed a site plan application for a modification to their existing site located at 807 Louisiana Avenue within the Sebastian Boulevard Triangle Overlay District. The project consists of constructing an

additional 1,620 SF of accessory bar area, including new bathrooms, to the existing clubhouse building, constructing a new 1,224 SF detached Outdoor Event building, reconfiguring the parking area and driveways, adding a new stormwater drainage system, and bringing the site into compliance with current Triangle landscaping requirements. Water and wastewater service to the site has already been accomplished via connection to Indian River County Utilities. Offsite improvements include widening Louisiana Avenue and installing a sidewalk. The site consists of 2.66 acres, of which 55,105 SF will be impervious & semi-impervious (47.6%) and 60,647 SF will be open space (52.4%).

b. Current Zoning, Future Land Use and Overlay District:

1. Zoning: PS (Public Service)
2. Future Land Use: INS (Institutional)
3. Performance Overlay District: Triangle

c. Adjacent Properties

| | <u>Zoning</u> | <u>Current Use</u> | <u>Future Land Use</u> |
|---------------|---------------|---------------------|------------------------|
| North: | PS | VFW | INS |
| East: | IN | Firehouse Garage | IN |
| South: | IN | Mini-Storage | IN |
| West: | PS | City Compound | INS |

d. Site Characteristics

- (1) **Total Acreage:** 2.66 acres
- (2) **Current Land Use(s):** Clubs & lodges, private
- (3) **Soil:** Archbold & Astatula Sands
- (4) **Vegetation:** Minimum invasives, Slash Pines, Oaks, & some palms
- (5) **Flood Hazard:** Zone X
- (6) **Water Service:** Indian River County Utilities
- (7) **Sanitary Sewer Service:** Indian River County Utilities
- (8) **Parks:** Riverview Park – ¼ mile
Dog Park – ½ mile
- (9) **Police/Fire:** Indian River County Fire – 2 miles
Sebastian Police – 1 mile

8. Comprehensive Plan Consistency

- a. **Future Land Use:** consistent
- b. **Traffic Circulation:** consistent
- c. **Housing:** n/a
- d. **Public Facilities:** consistent
- e. **Coastal Management:** n/a
- f. **Conservation:** consistent
- g. **Recreation and Open Space:** consistent

9. Contents of Site Plan:

- a. **lot configuration:** provided
- b. **finished ground floor elevation:** Proposed – 23.10 feet
- c. **contours and designating number of dwelling units:** N/A
- d. **square footage of site:** provided – 115,728 SF (2.66 acres)
- e. **building coverage:** 8,938 SF = 7.7% (Maximum 40%)
- f. **square footage of impervious areas and open area:**
 Impervious (+ Semi-impervious): 41,495 SF + 13,610 SF = 47.6% (60% maximum)
 Open Space: 60,647 SF = 52.4% (45% minimum)
- g. **setbacks:** provided – in compliance with zoning regulations.

| | Minimum Setback | Provided (Clubhouse + Addition) | Provided (Outdoor Event Bldg) |
|--------------------------------|-----------------|---------------------------------|-------------------------------|
| Front – Louisiana Ave | 30' | 99.46' | 193.09' |
| Front – Sebastian Blvd | 30' | 277.51' | 275.70' |
| Front – Veteran’s Memorial Way | 30' | 27.02' (existing) | 122.81' |
| Rear (west) | 25' | 55.77' | 25' |

- h. **scaled drawings of the sides, front and rear of the building or structure:**
provided

- i. **generalized floor plan indicating uses and square footage of each proposed use within each building or structure:** provided
- j. **Building exterior construction materials and color:** provided
- k. **building height:** Clubhouse + Addition 17.8' + 14.4' (maximum 35')
Outdoor Event Building 20.25'
- l. **location and character of all outside facilities for waste disposal, storage areas, or display:** provided – rear dumpster, screened by 6' high masonry enclosure with solid gate, rear shed area, screened by 6' high PVC fence
- m. **location and dimensions of all curb cuts and driveways:** provided
- n. **number of spaces with their location and dimensions:** provided

Parking Required:

1 space/3 persons based on maximum capacity: $334 \text{ persons} / 3 = \underline{112 \text{ spaces}}$

Parking Provided: 115 spaces: 92 Standard + 8 compact + 18 motorcycle (9 standard) + 6 handicap
- o. **details of off-street parking and loading areas (including requirements of Article XV):** provided – 45 paved spaces + 23 milled spaces + 47 grassed spaces

Per Section 54-3-10.10(b)(2), porous parking spaces (grass) are allowed upon approval by the PZ Commission conditioned that “subsequent changes in traffic generation shall constitute grounds by which the city engineer may request review by the planning and zoning commission in order to determine if the increased traffic generation rates warrant improvements to the parking surface.” If the parking needs are increased and the grassed parking spaces are observed to be used on a more frequent basis, the city can request, through the Commission, that those spaces be paved.

No large truck deliveries are expected and smaller delivery trucks will park temporarily in site parking areas.
- p. **all off-street vehicular surfaces available for maneuvering:** provided
- q. **surface materials:** provided
- r. **number of employees:** not provided
- s. **type of vehicles owned by the establishment:** not provided
- t. **If there is a combined off-street parking facility, required agreements:** n/a
- u. **Location of all pedestrian walks, malls, yards and open spaces:** provided

- v. **location, size, character, and height or orientation of all signs:**
provided – The one permitted freestanding sign is shown, and proposed to remain. Other un-permitted signs will need to be removed, as noted on the plan. New signs will require separate zoning reviews and building permits, and comply with the Overlay District design and color standards.
 - w. **location and character of landscaped areas and recreation areas:** provided
 - x. **location, design and character of all public, semi-public, or private utilities:**
provided
 - y. **location, height and general character of perimeter or ornamental walls, fences, landscaping:** provided – A small, decorative split-rail fence will be installed around the stormwater retention area to help prevent public and vehicle access to that area, and in lieu of the required parking area hedging.
 - z. **surface water drainage facilities plan certified by an engineer or architect registered in the State of Florida:** provided
 - aa. **location of existing easements and right-of-way:** provided
 - bb. **Land survey with complete legal description prepared and certified by a registered surveyor:** provided
 - cc. **Verified statement showing each and every individual person having a legal and/or equitable ownership interest in the subject property:** provided
10. **Site location and character of use:** provided
11. **Appearance site and structures:**
- a. **harmonious overall design:** Yes
 - b. **location and screening of mechanical equipment, utility hardware and waste storage areas:** provided – dumpsters and sheds have all been screened. Outside coolers will be painted to match the building
 - c. **commercial and industrial activities conducted in enclosed buildings:**
Yes
 - d. **exterior lighting:** provided – see photometric detail. Overlay District requires decorative lighting. Final light pole product for the parking areas will need to be administratively approved before the product is ordered.
13. **Access, internal circulation, off-street parking and other traffic impacts:**
- a. **internal circulation system design and access/egress considerations:**
provided
 - b. **separation of vehicular and pedestrian areas:** provided

14. **Traffic impacts:** A Traffic Impact Analysis was submitted. Based on existing use and the proposed expansion, the average daily trips (ADT) was calculated to be 392.
15. **Open space and landscape (including the requirements of Article XIV):**
- a. **Name, address and phone number of the owner and designer:** provided
 - b. **North arrow, scale and date, minimum scale of one inch equals fifty (50) feet:**
provided
 - c. **Property lines, easements, and right-of-way with internal and property line dimensions:** provided
 - d. **Location of existing or proposed utility service:** provided
 - e. **Location and size of any existing or proposed structures:** provided
 - f. **Location and size of any existing or proposed site features, such as earthen mounds, swales, walls and water areas:** provided
 - g. **Location and size of any existing or proposed vehicular use area:**
provided
 - h. **Location and size of any existing or proposed sidewalks, curbs, and wheel stops:** provided
 - i. **Location of sprinkler heads, hose bibs, or quick cupplers and other information on irrigation:** Existing irrigation well and pump are on site. Extension of the existing irrigation lines are necessary and required for the new landscape areas.
 - j. **Calculations of required type, dimensions and square footage of landscape materials and of required landscape areas, including: total site area, parking area, other vehicular use area, percentage of non-vehicular open space, perimeter and interior landscape strips, and required number of trees:** provided
 - k. **Location of required landscape areas and dimensions:** provided
 - l. **Location, name, height and size of all existing plant material to be retained:**
provided – based on number and size, the site has 141 tree credits.
 - m. **Location, size, height and description of all landscape material including name, quantity, quality, spacing, and specified size and specification of all plant materials:** provided
 - n. **Height, width, type, material and location of all barriers of nonliving material:**
provided
 - o. **Location, dimensions and area of landscaping for freestanding signs:** provided

- p. **Show all landscaping, buildings, or other improvements on adjacent property within five (5) feet of the common property line:** provided
- q. **Triangle Overlay District special landscape requirements:** The Triangle Overlay District has adopted the performance standards of the Riverfront Overlay District, including the landscaping requirements. The applicant is requesting a Waiver, pursuant to LDC Section 54-4-21.6, to reduce the number of understory trees to be planted, specifically within the western perimeter buffer and along Veterans Memorial Way. The waiver is requested for a total of 47 understory trees. Numerous specimen trees are being saved, and the site will have an additional 33 canopy tree credits which can be applied towards the understory tree number. The waiver is then reduced for a total of 14 understory trees.

All other Overlay planting requirements have been met, including increased size, and canopy, understory [for Louisiana & Sebastian Boulevard buffers], and hedge amounts. General Landscaping requirements from Article XIV have also been complied with.

- 16. **Required screening of abutting residential and nonresidential uses:** none required
- 17. **Flood prone land and wetland preservation:** There were no areas of wetlands found on the property, and the site is located in Flood Zone X.
- 18. **Surface water management:** provided
- 19. **Available potable water:** Indian River County Utilities
- 20. **Wastewater service:** Indian River County Utilities
- 21. **Soil erosion, sedimentation control and estuary protection:** SWPPP provided
- 22. **Performance Overlay District Requirements:** In compliance
- 23. **City Engineer's review:** All review comments from the consulting city engineer have been addressed, and an approval forwarded to staff. The offsite improvements have been reviewed and approved by the city engineer.
- 24. **Additional considerations:**
 - Clubs and lodges, public and private are Conditional Uses in the Public Service zoning district. The existing clubhouse and site are grandfathered but the proposed modifications must meet the required conditional use criteria, found in LDC Article VI, which are:
 - a) No building shall be located closer than 100 feet to any lot line which abuts a residential district.
 - b) No off-street parking or loading space shall be located closer than 15 feet to any property line abutting a residential district.
 - c) Screening: All side and rear yards abutting residential districts of uses shall be screened in accordance with the standards established in Section 54-3-14.16 of this chapter.

d) Alcoholic beverages shall not be permitted if the site abuts a residential zoning district.

The American Legion site does not abut any residential zoning districts, and therefore is in compliance with the required criteria.

- The new Outdoor Events building will be considered a multi-purpose building, allowing fundraisers, motorcycle poker runs, meeting space, etc. The designated food/bar service area can be closed off from the table area by roll-up hurricane shutters.
- The proposed floor plan for the clubhouse indicates an area for “gaming machines”. These machines cannot offer cash, gift cards, or other prizes as this would establish an *adult arcade* use, which is prohibited in this zoning district.
- The site is located within the CRA District and the project is eligible to apply for a Façade, Sign & Landscape (FSL) Grant for to receive monies for items such as the new landscaping, cupola, decorative light poles, and a new sign.

25. Staff Conclusion:

The proposed site plan is consistent with the Comprehensive Plan, the Land Development Code, and the Triangle Overlay District.

26. Recommendation:

Hold a quasi-judicial public hearing regarding the American Legion site plan application. Staff recommends the following:

1. Approve the proposed site plan modification with the following conditions:
 - Submittal of a recorded Unity of Title for the two parcels before issuance of the landclearing permit
 - Light poles located in the parking area shall be decorative, and can be administratively approved
 - Changes in traffic generation and frequency in using the grassed parking spaces shall permit a review to determine if paving improvements to the spaces are required, in accordance with LDC Section 54-3-10.10(b)(2)b
 - Gaming machines cannot provide monetary prizes
2. Find that the proposed site modifications are in compliance with the required LDC Article VI Conditional Use criteria
3. Grant a landscape waiver for 14 understory trees, and to allow 33 extra canopy tree credits to be used in lieu of 33 required understory trees



PREPARED BY

7/9/20
DATE

Todd N. Smith, PE, Inc.
1717 Indian River Dr.
Suite 302
Vero Beach, FL 32960
772-559-3699
nspe@bellsouth.net

June 16, 2020

Dorri Bosworth, Manager/Planner
Community Development Department
City of Sebastian
1225 Main Street
Sebastian, FL 32958

RE: American Legion Charles L. Futch Post #189 Site Plan -- 807 Louisiana Ave., Sebastian

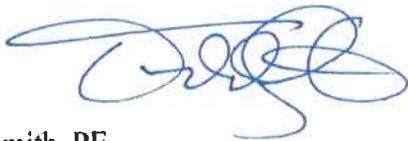
Dear Dorri:

This letter shall serve to verify the conditional use criteria for clubs and lodges, public or private in the PS zoning district, as found in Section 54-2-6.4(9), is being met for the proposed main building expansion and detached outdoor events pavilion for the above referenced project.

1. No building is located closer than 100 feet to any lot line, which abuts a residential district.
2. No off-street parking or loading space is located closer than 15 feet to any property line abutting a residential district.
3. All side and rear yards abutting residential districts or uses shall be screened in accordance with the standards established in section 54-2-14.16 of the land development ordinances of the City of Sebastian.
4. Alcoholic beverages shall not be permitted if the site abuts a residential zoning district.

Please call me should you require any further information.

Sincerely,



Todd N. Smith, PE



HOME OF PELICAN ISLAND

City of Sebastian Development Order Application

Permit Application No. _____

Applicant (if not owner, written authorization (notarized) from owner is required)

Name: AMERICAN LEGION POST #189 COMMANDER RUSS PRACONSKI

Address: 807 LOUISIANA AVENUE, SEBASTIAN, FL 32958

Phone Number: (772) 589-8710 FAX Number: () -

E-Mail: RUSS1371MC@AOL.COM

Owner (if different from applicant)

Name: SAME AS APPLICANT

Address:

Phone Number: () - FAX Number: () -

E-Mail:

Title of permit or action requested:
SITE PLAN MAJOR MODIFICATION

PLEASE COMPLETE ONLY THOSE SECTIONS WHICH ARE NECESSARY FOR THE PERMIT OR ACTION THAT YOU ARE REQUESTING. COPIES OF ALL MAPS, SURVEYS, DRAWINGS, ETC. SHALL BE ATTACHED AND 8-1/2" BY 11" COPIES OF ANY ATTACHMENTS SHALL BE INCLUDED. ATTACH THE APPROPRIATE SUPPLEMENTAL INFORMATION FORM.

A. Project Name (if applicable): AMERICAN LEGION POST #189

B. Site Information

Address: 807 LOUISIANA AVENUE, SEBASTIAN, FL 32958

Lot: Block: Unit: Subdivision:

Indian River County Parcel #: 31-39-06-00000-5000-00024.1

Zoning Classification: PS Future Land Use: PUBLIC SERVICE INS

Existing Use: PRIVATE CLUB / PS CIVIC Proposed Use: SAME PUBLIC SERVICE

C. Detailed description of proposed activity and purpose of the requested permit or action (attach extra sheets if necessary):

DATE RECEIVED: 5/28/19

FEE PAID: \$1,000

RECEIVED BY: 

RECEIVED

MAY 28 2019

City of Sebastian
Community Development Dept.

| | |
|--|-------------------------|
| D. Project Personnel: | |
| Agent: | |
| Name: | |
| Address | |
| Phone Number: () - | FAX Number: () - |
| E-Mail: | |
| Attorney: | |
| Name: | |
| Address | |
| Phone Number: () - | FAX Number: () - |
| E-Mail: | |
| Engineer: | |
| Name: <u>TODD N. SMITH PE, INC ATTENTION: TODD SMITH</u> | |
| Address <u>1717 INDIAN RIVER BLVD, SUITE 302, VERO BEACH, FL 32962</u> | |
| Phone Number: <u>(772) 559-3699</u> | FAX Number: () - |
| E-Mail: <u>TNSPE@BELLSOUTH.NET</u> | |
| Surveyor: | |
| Name: <u>WILLIAM B. ZENTZ AND ASSOCIATES, INC. ATTENTION: BILL ZENTZ</u> | |
| Address <u>684 OLD DIXIE HIGHWAY, FL 32962</u> | |
| Phone Number: <u>(772) 567-7552</u> | FAX Number: () - |
| E-Mail: <u>BILLZ-WBZ@COMCAST.NET</u> | |

I, Russ Pacowski, BEING FIRST DULY SWORN, DEPOSE AND SAY THAT: I AM THE OWNER I AM THE LEGAL REPRESENTATIVE OF THE OWNER OF THE PROPERTY DESCRIBED WHICH IS THE SUBJECT MATTER OF THIS APPLICATION, AND THAT ALL THE INFORMATION, MAPS, DATA AND/OR SKETCHES PROVIDED IN THIS APPLICATION ARE ACCURATE AND TRUE TO THE BEST OF MY KNOWLEDGE AND BELIEF.

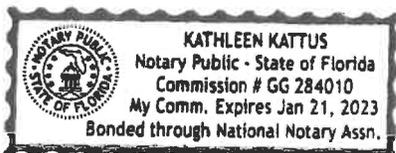
Russ Pacowski
SIGNATURE

5/25/19
DATE

SWORN TO AND SUBSCRIBED BEFORE ME BY Russ Pacowski
WHO IS PERSONALLY KNOWN TO ME OR PRODUCED Drivers License
AS IDENTIFICATION, THIS 25th DAY OF May, 2019.

NOTARY'S SIGNATURE
PRINTED NAME OF NOTARY
COMMISSION NO./EXPIRATION
SEAL:

Kathleen Kattus
KATHLEEN KATTUS
GG 284010 01-21-2023



The following is required for all comprehensive plan amendments, zoning amendments (including rezoning), site plans, conditional use permits, special use permits, variances, exceptions, and appeals.

I/WE, ___ THE OWNER(S) / THE LEGAL REPRESENTATIVE OF THE OWNER(S) OF THE PROPERTY DESCRIBED WHICH IS THE SUBJECT OF THIS APPLICATION, HEREBY AUTHORIZE EACH AND EVERY MEMBER OF THE Planning Zoning BOARD/COMMISSION OF THE CITY OF SEBASTIAN TO PHYSICALLY ENTER UPON THE PROPERTY AND VIEW THE PROPERTY IN CONNECTION WITH MY/OUR PENDING APPLICATION.

I/WE HEREBY WAIVE ANY OBJECTION OR DEFENSE I/WE MAY HAVE, DUE TO THE QUASI-JUDICIAL NATURE OF THE PROCEEDINGS, RESULTING FROM ANY BOARD/COMMISSION MEMBER ENTERING OR VIEWING THE PROPERTY, INCLUDING ANY CLAIM OR ASSERTION THAT MY/OUR PROCEDURAL OR SUBSTANTIVE DUE PROCESS RIGHTS UNDER THE FLORIDA CONSTITUTION OR THE UNITED STATES CONSTITUTION WERE VIOLATED BY SUCH ENTERING OR VIEWING.

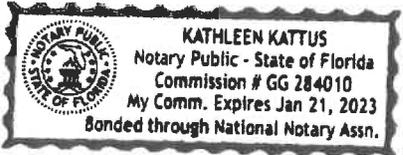
THIS WAIVER AND CONSENT IS BEING SIGNED BY ME/US VOLUNTARILY AND NOT AS A RESULT OF ANY COERCION APPLIED, OR PROMISES MADE, BY ANY EMPLOYEE, AGENT, CONTRACTOR OR OFFICIAL OF THE CITY OF SEBASTIAN.

Russ Pacowski
SIGNATURE

5/25/19
DATE

Sworn to and subscribed before me by Russ Pacowski
who is personally known to me or produced Drivers License
as identification, this 25th day of May, 2019.

Notary's Signature Kathleen Kattus
Printed Name of Notary KATHLEEN KATTUS
Commission No./Expiration #GG 284010 01-21-2023
Seal:



APPLICATION FEES ARE ESTABLISHED BY RESOLUTION OF CITY COUNCIL. ADDITIONAL FEES FOR THE CITY'S CONSULTING ENGINEER REVIEW (WHEN REQUIRED) WILL BE THE RESPONSIBILITY OF THE APPLICANT.

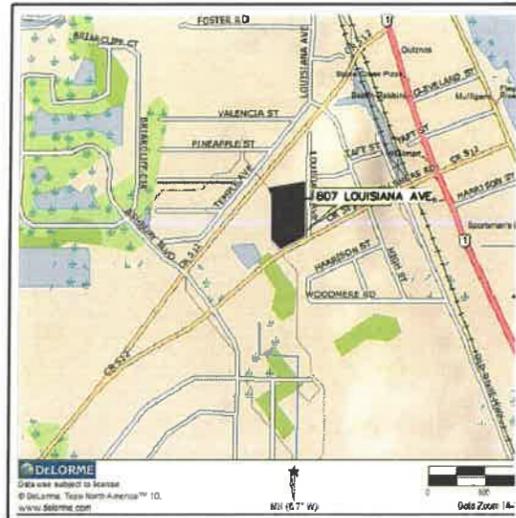
ACKNOWLEDGMENT

DATE

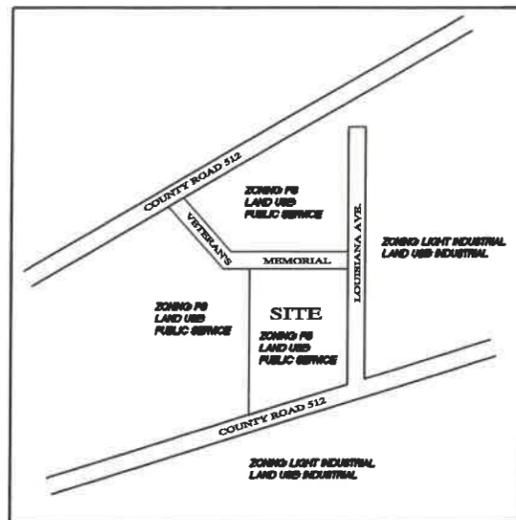
AMERICAN LEGION POST #189

807 LOUISIANA AVENUE
SECTION 6, TOWNSHIP 31S, RANGE 39 E
SEBASTIAN, FLORIDA

JULY 2020



LOCATION MAP



VICINITY MAP

OWNER

AMERICAN LEGION POST #189
COMMANDER RUSS PACOWSKI
807 LOUISIANA AVENUE
SEBASTIAN, FLORIDA 32958
(772) 589-8710
russ1371mc@aol.com

ENGINEER

TODD N. SMITH, P.E., INC.
1717 INDIAN RIVER BOULEVARD
SUITE 302
VERO BEACH, FLORIDA 32960
(772) 559-3699
tinspe@bellsouth.net

SURVEYOR

WILLIAM B. ZENTZ AND ASSOCIATES, INC.
684 OLD DIXIE HIGHWAY
VERO BEACH, FLORIDA 32962
(772) 567-7552
billz-wbz@comcast.net

INDEX OF DRAWINGS

- C1. COVER SHEET
- C2. EXISTING CONDITIONS PLAN
- C3. SITE PLAN
- C4. PAVING, GRADING AND DRAINAGE PLAN
- C5. STORMWATER POLLUTION PROTECTION PLAN
- C6. PAVING, GRADING AND DRAINAGE DETAILS
- C7. PAVING, GRADING AND DRAINAGE NOTES

- LS1. LANDSCAPE PLAN
- LS2. LANDSCAPE DETAILS AND SPECIFICATIONS

48 HOURS BEFORE DIGGING
CALL TOLL FREE
1-800-432-4770
FLORIDA STATE ONE CALL
OF FLORIDA, INC.

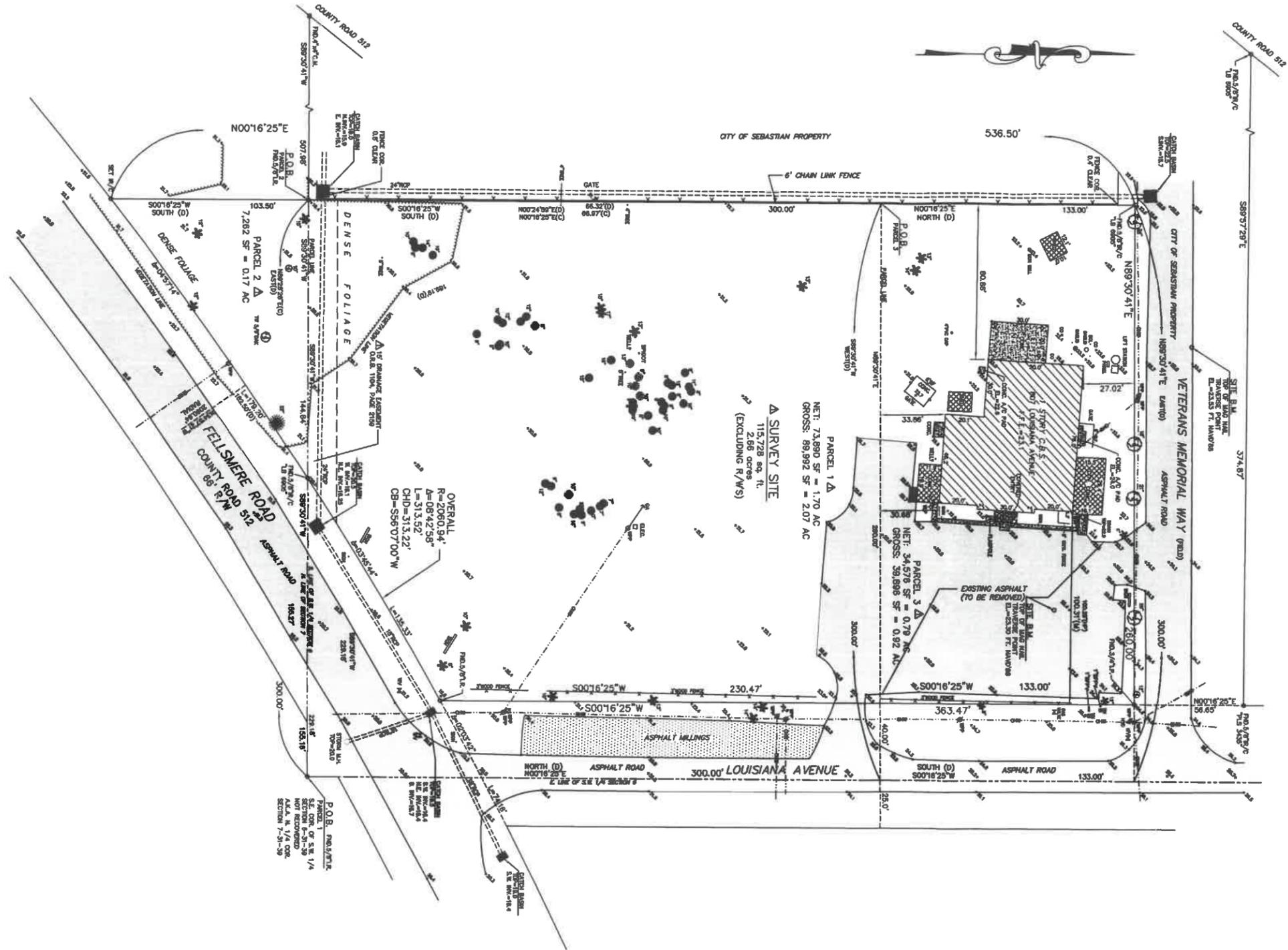


C1
ENGINEER'S P.N. 18815

RECEIVED

JUL 06 2020

City of Sebastian
Community Development Dept.



LEGEND

NAVD '88=NORTH AMERICAN VERTICAL DATUM OF 1988
 B.M.=ELEVATION BENCHMARK
 SET IR/C=SET 5/8" DIAMETER IRON ROD W/CAP STAMPED "WZ-LB 6840"
 C.B.S.=CONCRETE BLOCK STRUCTURE
 ±=EXISTING SPOT ELEVATION
 BFFV=BACKFLOW VALVE
 F.F.E.=FINISH FLOOR ELEVATION
 RCP=REINFORCED CONCRETE PIPE
 IR/C= IRON ROD WITH CAP
 I.P.=IRON PIPE, NO I.D.
 I.R.=IRON ROD, NO I.D.
 MAG=MAGNETIC
 A/C=AIR CONDITIONING
 R/W=RIGHT OF WAY
 R=RADIUS
 Δ=CENTRAL ANGLE
 L=ARC LENGTH
 CHD=CHORD
 CB=CHORD BEARING
 ε= CENTERLINE
 EL=ELEVATION
 OHW=OVERHEAD WIRES
 W.F.=WOOD FENCE
 CONC.=CONCRETE
 COV.=COVERED
 (M)=MEASURED
 (C)=CALCULATED
 (P)=PLAT
 COR.=CORNER
 FND.=FOUND
 FND.=FOUND

SYMBOLS

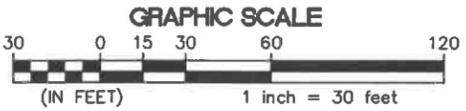
☐ = CONCRETE POWER POLE
 MLP = METAL LIGHT POLE
 WLP = WOODEN LIGHT POLE
 WPP = WOODEN POWER POLE
 Ⓜ = WATER METER
 WV = WATER VALVE
 HYD = FIRE HYDRANT
 SV = SEWER VALVE
 ELEC. ☐ = ELECTRIC RISER BOX
 CATV ☐ = CABLE TV RISER BOX
 TEL ☐ = TELEPHONE RISER BOX
 SAN. M.H. ○ = SANITARY MANHOLE
 STORM M.H. ○ = STORM MANHOLE
 GA — = GUY ANCHOR
 SHADED AREAS INDICATE ASPHALT SURFACE
 12' ● = PINE TREE W/DIAMETER
 12' * = PALM TREE W/DIAMETER
 20' ○ = OAK TREE W/DIAMETER

DESCRIPTION OF SURVEY SITE

DESCRIPTION AS PROVIDED BY CLIENT

- PARCEL 1:**
 Beginning at an iron pipe at the Southeast corner of the Southwest quarter of Section 6, Township 31 South, Range 39 East, thence run North along the East line of said Southwest 1/4 a distance of 300 feet; thence run West a distance of 300 feet; thence run South a distance of 300 feet; thence run East a distance of 300 feet to the Point of Beginning.
- PARCEL 2:**
 Beginning at a point 300 feet West of an iron pipe at the Southeast corner of the Southwest quarter of Section 6, Township 31 South, Range 39 East, running South 103 feet 6 inches (103.50 feet); thence running Northeast along the North side of Fellsmere Road 182 feet 6 inches (182.50 feet); thence running West to the Point of Beginning.
- PARCEL 3:**
 Beginning at an iron pipe which is the present Northeast corner of American Legion property being in the SE 1/4 of the SW 1/4 of Section 6, Township 31 South, Range 39 East, run North 133 feet; thence West 300 feet; thence South 133 feet to the NW corner of American Legion property thence East 300 feet to the Point of Beginning.

NOTE: PARCELS 1 AND 3 ARE SUBJECT TO RIGHT OF WAY OVER THE EAST 40 FEET THEREOF FOR LOUISIANA AVENUE AND PARCEL 1 IS ALSO SUBJECT TO RIGHT OF WAY OVER THE SOUTHEAST PORTION THEREOF AS SHOWN FOR COUNTY ROAD 512 WHICH IS APPARENT BUT NOT EXCEPTED IN THE LEGAL DESCRIPTION PROVIDED.



EXISTING CONDITIONS PLAN

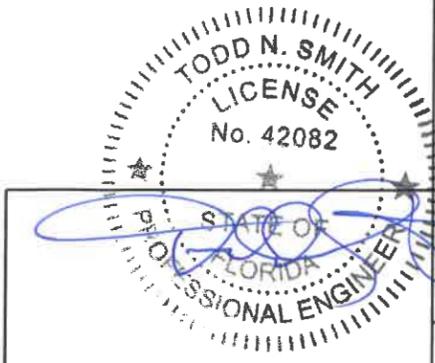
1" = 30'-0"



Notes :

1. This survey does not reflect or determine ownership.
2. Lands shown hereon were not abstracted for rights-of-way or easements of record. This survey was performed without the benefit of a title search.
3. Reproductions of this drawing are not valid without the signature and original raised seal of a Florida licensed Surveyor and Mapper.
4. Survey site lies in Flood Zone "X" per Flood Insurance Rate Map no. 12061C0111H, dated December 4, 2012.
5. Subsurface utilities and improvements were not located as a part of this survey.
6. All boundary measurements equal record dimensions unless otherwise noted.
7. Elevations shown hereon are in feet, referenced to NAVD'88, based on Indian River County Benchmark "BM005054", having a published elevation of 30.09 ft. NAVD'88.
8. Bearings shown hereon are referenced to a previous survey of this site by Houston-Price, dated 6/7/2000, as provided by the client, holding the West r/w line of Louisiana Avenue as bearing S00°16'25"W from Iron pipe at NE corner and Iron rod at SE corner.

48 HOURS BEFORE DIGGING
 CALL TOLL FREE
1-800-432-4770
 SUNSHINE STATE ONE CALL
 OF FLORIDA, INC.



JUL 03 2020

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 Vero Beach, Florida 32960
 CELL (772) 99-3699
 todd@toddsmith.net

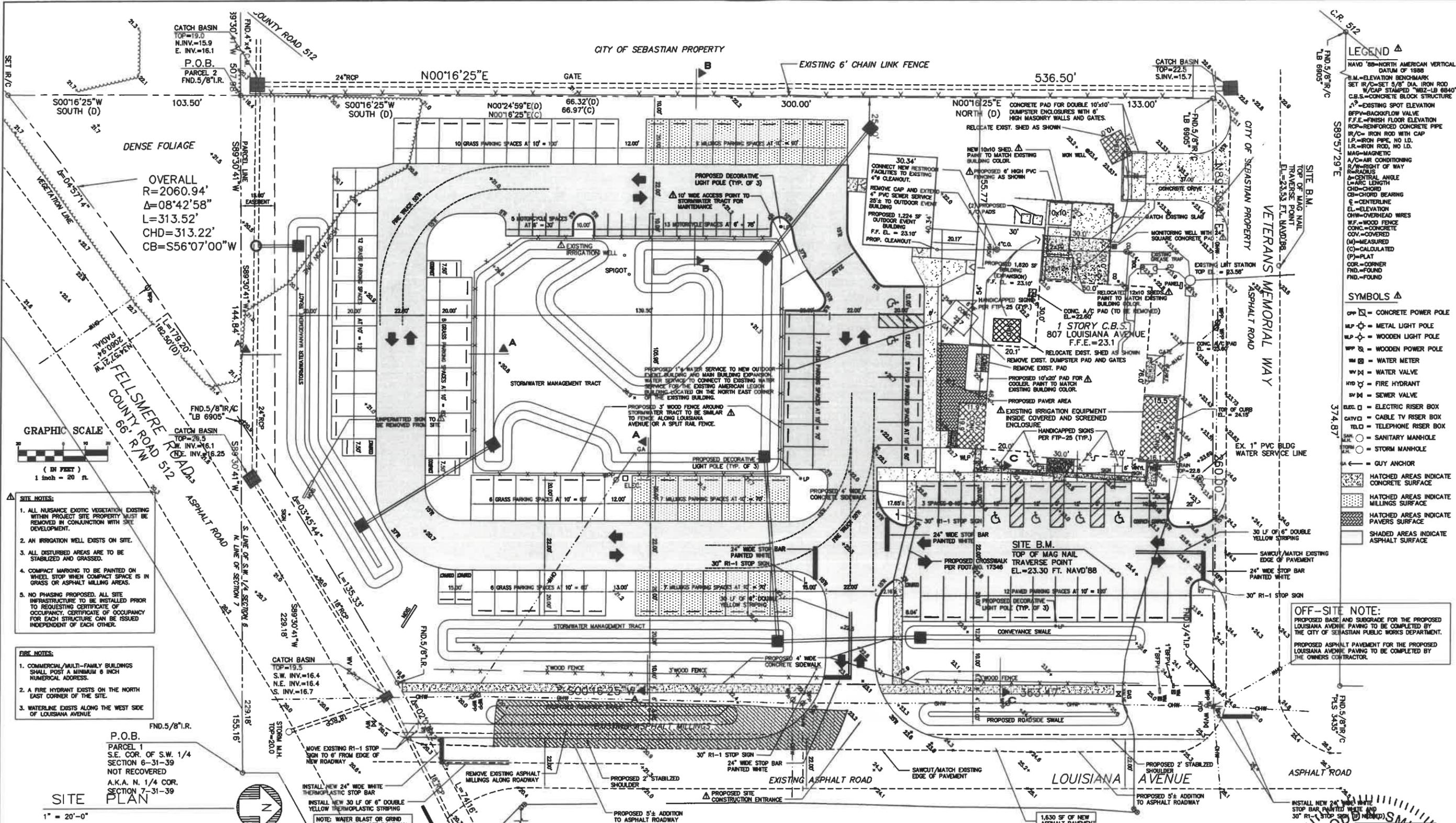
EXISTING CONDITIONS PLAN

**AMERICAN LEGION
 POST # 189
 807 LOUISIANA AVENUE
 SEBASTIAN, FLORIDA**

TODD N. SMITH
 P.L. #2 84802

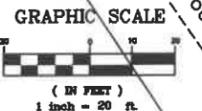
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18815



- LEGEND**
- NAVD '88-NORTH AMERICAN VERTICAL DATUM OF 1988
 - E.L.-ELEVATION BENCHMARK SET I/C-SET 5/8" DIA. IRON ROD W/CAP STAMPED "NB2-LB 6840" C.B.S.-CONCRETE BLOCK STRUCTURE
 - E.S.-EXISTING SPOT ELEVATION
 - BPV-BACKFLOW VALVE
 - F.F.E.-FINISH FLOOR ELEVATION
 - RCP-REINFORCED CONCRETE PIPE
 - I/C-IRON ROD WITH CAP
 - I.P.-IRON PIPE, NO L.D.
 - L.R.-IRON ROD, NO L.D.
 - MAG-MAGNETIC
 - A/C-AIR CONDITIONING
 - R/W-RIGHT OF WAY
 - C.A.-CENTRAL ANGLE
 - L.A.-ARC LENGTH
 - CB-CHORD BEARING
 - E-CENTERLINE
 - EL-ELEVATION
 - OHV-OVERHEAD WIRES
 - W.F.-WOOD FENCE
 - CONC.-CONCRETE
 - COV.-COVERED
 - (M)-MEASURED
 - (C)-CALCULATED
 - (P)-PLAT
 - OR-CORNER
 - FD-FOUND
 - FIN-FOUND

- SYMBOLS**
- CP - CONCRETE POWER POLE
 - MLP - METAL LIGHT POLE
 - WLP - WOODEN LIGHT POLE
 - WP - WOODEN POWER POLE
 - WM - WATER METER
 - WV - WATER VALVE
 - HYD - FIRE HYDRANT
 - SV - SEWER VALVE
 - EBR - ELECTRIC RISER BOX
 - CRV - CABLE TV RISER BOX
 - TRV - TELEPHONE RISER BOX
 - SMH - SANITARY MANHOLE
 - STMH - STORM MANHOLE
 - GA - GUY ANCHOR
- HATCHED AREAS INDICATE CONCRETE SURFACE**
- HATCHED AREAS INDICATE MILLINGS SURFACE**
- HATCHED AREAS INDICATE PAVERS SURFACE**
- SHADED AREAS INDICATE ASPHALT SURFACE**



- SITE NOTES:**
- ALL NUISANCE EXOTIC VEGETATION EXISTING WITHIN PROJECT SITE PROPERTY MUST BE REMOVED IN CONJUNCTION WITH SITE DEVELOPMENT.
 - AN IRRIGATION WELL EXISTS ON SITE.
 - ALL DISTURBED AREAS ARE TO BE STABILIZED AND GRASSED.
 - COMPACT MARKING TO BE PAINTED ON WHEEL STOP WHEN COMPACT SPACE IS IN GRASS OR ASPHALT MILLING AREAS.
 - NO PHASING PROPOSED. ALL SITE INFRASTRUCTURE TO BE INSTALLED PRIOR TO REQUESTING CERTIFICATE OF OCCUPANCY. CERTIFICATE OF OCCUPANCY FOR EACH STRUCTURE CAN BE ISSUED INDEPENDENT OF EACH OTHER.

- FIRE NOTES:**
- COMMERCIAL/MULTI-FAMILY BUILDINGS SHALL POST A MINIMUM 6 INCH NUMERICAL ADDRESS.
 - A FIRE HYDRANT EXISTS ON THE NORTH EAST CORNER OF THE SITE.
 - WATERLINE EXISTS ALONG THE WEST SIDE OF LOUISIANA AVENUE.

SITE PLAN

1" = 20'-0"

OWNER
AMERICAN LEGION POST #189
807 LOUISIANA AVENUE
SEBASTIAN, FLORIDA 32958
COMMANDER: RUSSELL FACKOWSKI
(772) 598-8710
rus1571mc@aol.com

SURVEYOR
WILLIAM B. ZENTZ & ASSOCIATES, INC.
684 OLD DIXIE HIGHWAY
VERO BEACH, FLORIDA 32958
(772) 567-7455
billz_wbz@comcast.net

ZONING
PS

LAND USE
PUBLIC SERVICE

TAX PARCEL I.D. NUMBER(S)
31-39-06-00000-5000-00028.0
31-39-07-00000-3000-00004.0

SITE ADDRESS
807 LOUISIANA AVENUE
SEBASTIAN, FLORIDA 32958

△ SITE REQUIREMENTS

| REQUIRED | PROVIDED |
|---------------------------------|-------------|
| MINIMUM LOT AREA = 15,000 SF | 115,728 SF |
| MINIMUM LOT WIDTH = 100 FEET | 280.00 FEET |
| MINIMUM LOT DEPTH = 125 FEET | 363.47 FEET |
| MAXIMUM IMPERVIOUS = 80% | 47.06 |
| MAXIMUM BUILDING COVERAGE = 40% | 7.7% |

△ PERMITS REQUIRED

CITY OF SEBASTIAN SITE PLAN APPROVAL
CITY OF SEBASTIAN BUILDING DEPARTMENT
CITY OF SEBASTIAN CONDITIONAL USE APPLICATION
CITY OF SEBASTIAN STORMWATER PERMIT
CITY OF SEBASTIAN RIGHT OF WAY PERMIT
CITY OF SEBASTIAN LAND CLEARING/TREE REMOVAL PERMIT
INDIAN RIVER COUNTY UNITY OF TITLE
INDIAN RIVER COUNTY RIGHT OF WAY PERMIT
FDPE 10-2 PERMIT
FDPE NOI PERMIT

FLOOD ZONE
THE SUBJECT PROPERTY IS LOCATED IN FLOOD ZONE "X" PER F.I.R.M. MAP NO. 1208100111 H, DATED DECEMBER 4, 2012.

SURVEY BENCHMARK
ELEVATIONS SHOWN HEREON IN FEET, REFERENCED TO NAVD'88. BASED ON INDIAN RIVER COUNTY BENCHMARK "BM05054", HAVING A PUBLISHED ELEVATION OF 30.09 FEET NAVD'88.

WATER/WASTEWATER SOURCE
INDIAN RIVER COUNTY UTILITIES WATER MAIN
INDIAN RIVER COUNTY UTILITIES FORCE MAIN

△ TRAFFIC STATEMENT

ITE 891 FRATERNAL LODGE (EXISTING BUILDING) EXISTING TRIPS = 0.29 TRIPS/MEMBER(655 MEMBERS) = 190 ADT
ITE 825 DRINKING PLACE (BLDG EXPANSION & OUTDOOR EVENT BLDG.) PROPOSED TRIPS = (6)11.36 TRIPS/1,000 (\$12,800 SF) = 192 ADT
TOTAL TRIPS TO SITE = 190 ADT + 192 ADT = 382 ADT
PROPOSED NEW TRIPS = 192 ADT

PARKING DATA

PARKING PROVIDED = 1 SPACE/3 SEATS AT MAXIMUM OCCUPANCY
PARKING REQUIRED = 1 SPACE/3 SEATS(334 PERSONS) = 112 SPACES
PARKING PROVIDED = (6)11.36 HANDICAPPED, 18 MOTORCYCLE = 9 SPACES, 6 COMPACT AND 92 STANDARD SPACES (45 PAVED SPACES, 23 MILLING SPACES AND 47 GRASS SPACES)

EXISTING SITE DATA

| SITE AREA | BLDG AREA | SHED AREA | COVERED PATIO AREA | CONCRETE AREA | ASPHALT AREA | TOTAL IMPERVIOUS AREA | TOTAL OPEN AREA |
|------------|-----------|-----------|--------------------|---------------|--------------|-----------------------|-----------------|
| 115,728 SF | 4,790 SF | 220 SF | 692 SF | 15,300 SF | 21,981 SF | 43,983 SF | 71,745 SF |
| = 2.66 Ac | = 0.11 Ac | = 0.00 Ac | = 0.01 Ac | = 0.35 Ac | = 0.49 Ac | = 1.00 Ac | = 12.84 Ac |
| = 100.0% | = 4.1% | = 0.2% | = 0.8% | = 13.2% | = 18.0% | = 81.1% | |

PROPOSED SITE DATA

| EXIST. BUILDING AREA | PROPP. BUILDING ADDITION | EXIST. SHED AREA | PROPP. SHED ON CONC. | EXIST. COVERED PATIO AREA | PROPP. COVERED PATIO AREA | PROPP. COVERED GAZEBO AREA | PROPP. COOLER AREA | EXIST. COVERED ENTRY | PROPP. CONCRETE AREA | EXIST. CONCRETE AREA (REMOVED) | PROPP. CONCRETE AREA | TOTAL CONCRETE AREA | EXISTING ASPHALT AREA | ASPHALT AREA (REMOVED) | PROPOSED ASPHALT AREA | TOTAL ASPHALT AREA | EXISTING PAVEMENT AREA | PROPOSED PAVEMENT AREA | TOTAL PAVEMENT AREA | |
|----------------------|--------------------------|------------------|----------------------|---------------------------|---------------------------|----------------------------|--------------------|----------------------|----------------------|--------------------------------|----------------------|---------------------|-----------------------|------------------------|-----------------------|--------------------|------------------------|------------------------|---------------------|----------|
| 4,790 SF | 1,000 SF | 220 SF | 120 SF | 692 SF | 1,224 SF | 200 SF | 200 SF | 72 SF | 8,358 SF | 2,890 SF | 3,023 SF | 5,915 SF | 15,300 SF | 15,300 SF | 29,034 SF | 29,034 SF | 0 SF | 500 SF | 300 SF | 1,630 SF |
| = 0.11 Ac | = 0.04 Ac | = 0.00 Ac | = 0.01 Ac | = 0.01 Ac | = 0.03 Ac | = 0.01 Ac | = 0.01 Ac | = 0.00 Ac | = 0.19 Ac | = 0.06 Ac | = 0.07 Ac | = 0.26 Ac | = 0.35 Ac | = 0.35 Ac | = 0.67 Ac | = 0.67 Ac | = 0.00 Ac | = 0.01 Ac | = 0.01 Ac | = 0.4% |
| = 4.1% | = 0.2% | = 0.2% | = 0.1% | = 0.8% | = 1.0% | = 0.2% | = 0.2% | = 0.1% | = 7.7% | = 2.3% | = 2.8% | = 13.2% | = 13.2% | = 25.1% | = 25.1% | = 25.1% | = 0.0% | = 0.4% | = 0.4% | |

EXIST. MILLINGS (SEMI-IMPERVIOUS) = 0 SF = 0.00 Ac = 0.0%

EXIST. MILLINGS (REMOVED) = 0 SF = 0.00 Ac = 0.0%

PROPP. MILLINGS (SEMI-IMPERVIOUS) = 4,600 SF = 0.10 Ac = 4.0%

TOTAL MILLINGS (SEMI-IMPERVIOUS) = 4,600 SF = 0.10 Ac = 4.0%

EXIST. GRASS PRG (SEMI-IMP) = 0 SF = 0.00 Ac = 0.0%

PROPP. GRASS PRG (SEMI-IMP) = 8,010 SF = 0.21 Ac = 7.8%

TOTAL GRASS PRG (SEMI-IMP) = 8,010 SF = 0.21 Ac = 7.8%

TOTAL SEMI-IMPERVIOUS AREA = 13,610 SF = 0.31 Ac = 11.8%

TOTAL IMPERVIOUS AREA = 60,847 SF = 1.40 Ac = 52.4%

TOTAL OPEN AREA = 10,900 SF = 0.24 Ac = 9.4%

△ CONDITIONAL USE CRITERIA 54-2-6.4(9)

CLUBS AND LODGES, PUBLIC OR PRIVATE.
(AMERICAN LEGION IS A PRIVATE CLUB THAT REQUIRES MEMBERSHIP.)

A. APPLICABLE ZONING DISTRICTS, MUST BE WITHIN PS ZONING DISTRICT.
SITE IS LOCATED WITHIN PS ZONING DISTRICT.

B. CONDITIONAL USE CRITERIA:
1.-4. ALL FOUR OF THE CRITERIA INCLUDES PROVISIONS WHEN ABUTTING RESIDENTIALLY ZONED PARCELS.
THIS SITE DOES NOT ABUT RESIDENTIALLY ZONED PARCELS.

STATE OF FLORIDA

PROFESSIONAL ENGINEER

TODD N. SMITH, P.E.

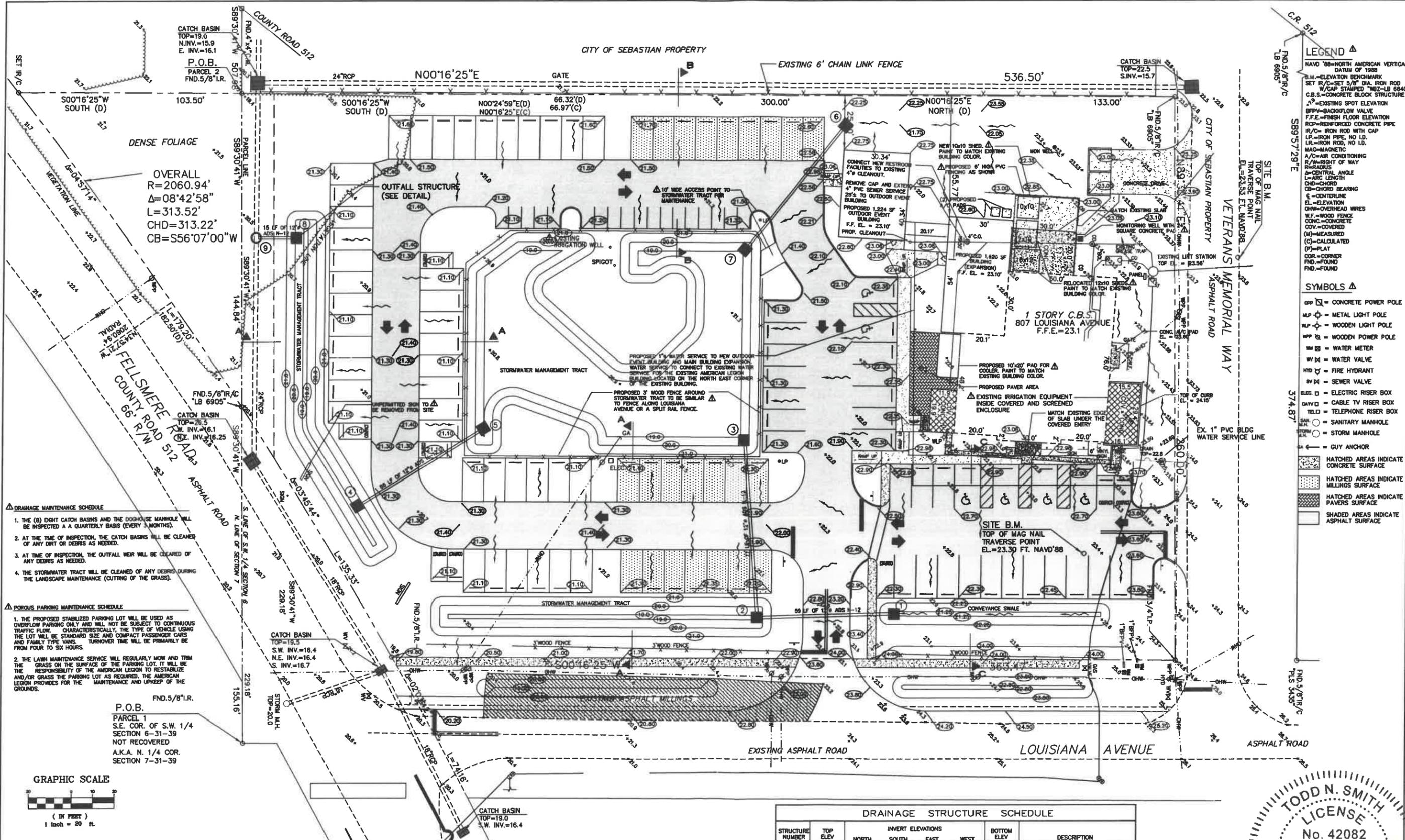
JUL 03 2020

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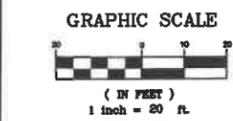
AMERICAN LEGION POST # 189
807 LOUISIANA AVENUE
SEBASTIAN, FLORIDA

SHEET C3

18815



- Δ DRAINAGE MAINTENANCE SCHEDULE**
1. THE (8) EIGHT CATCH BASINS AND THE DOGHOUSE MANHOLE WILL BE INSPECTED ON A QUARTERLY BASIS (EVERY 3 MONTHS).
 2. AT THE TIME OF INSPECTION, THE CATCH BASINS WILL BE CLEANED OF ANY DIRT OR DEBRIS AS NEEDED.
 3. AT TIME OF INSPECTION, THE OUTFALL WEIR WILL BE CLEANED OF ANY DEBRIS AS NEEDED.
 4. THE STORMWATER TRACT WILL BE CLEANED OF ANY DEBRIS DURING THE LANDSCAPE MAINTENANCE (CUTTING OF THE GRASS).
- Δ POROUS PARKING MAINTENANCE SCHEDULE**
1. THE PROPOSED STABILIZED PARKING LOT WILL BE USED AS OVERFLOW PARKING ONLY AND WILL NOT BE SUBJECT TO CONTINUOUS TRAFFIC FLOW. CHARACTERISTICALLY, THE TYPE OF VEHICLE USING THE LOT WILL BE STANDARD SIZE AND COMPACT PASSENGER CARS AND FAMILY TYPE VANS. TURNOVER TIME WILL BE PRIMARILY BE FROM FOUR TO SIX HOURS.
 2. THE LAWN MAINTENANCE SERVICE WILL REGULARLY MOW AND TRIM THE GRASS ON THE SURFACE OF THE PARKING LOT. IT WILL BE THE RESPONSIBILITY OF THE AMERICAN LEGION TO REESTABLISH AND/OR GRASS THE PARKING LOT AS REQUIRED. THE AMERICAN LEGION PROVIDES FOR THE MAINTENANCE AND UPKEEP OF THE GROUNDS.



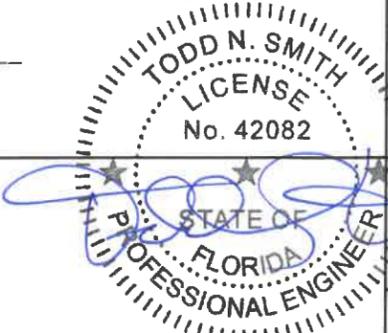
PAVING AND DRAINAGE SITE PLAN

1" = 20'-0"

48 HOURS BEFORE DIGGING
CALL TOLL FREE
1-800-432-4770
SUNSHINE STATE ONE CALL
OF FLORIDA, INC.

DRAINAGE STRUCTURE SCHEDULE

| STRUCTURE NUMBER | TOP ELEV | INVERT ELEVATIONS | | | | BOTTOM ELEV | DESCRIPTION |
|------------------|----------|-----------------------|-------|-------|-------|---------------------------------------|-------------|
| | | NORTH | SOUTH | EAST | WEST | | |
| 1 | 21.40 | | 19.00 | | 18.50 | 24" NYLOPLAST DRAIN BASIN | |
| 2 | 20.50 | 18.35 | | | 18.35 | 24" NYLOPLAST DRAIN BASIN | |
| 3 | 20.00 | | | 18.15 | 17.65 | 24" NYLOPLAST DRAIN BASIN | |
| 4 | 20.50 | 18.35 | | | 17.85 | 24" NYLOPLAST DRAIN BASIN | |
| 5 | 20.00 | | 18.15 | | 17.65 | 24" NYLOPLAST DRAIN BASIN | |
| 6 | 21.50 | 19.00 | | | 18.50 | 24" NYLOPLAST DRAIN BASIN | |
| 7 | 20.50 | 18.50 | | | 18.00 | 24" NYLOPLAST DRAIN BASIN | |
| 8 | 21.00 | 20.50 (WEIR ELEV.) | 18.00 | | 17.50 | CONTROL STRUCTURE (SEE DETAIL) * | |
| 9 | 21.00 | 17.80 | | 16.10 | 16.10 | DOG HOUSE STRUCTURE (SEE DETAIL) * | |



JUL 03 2020

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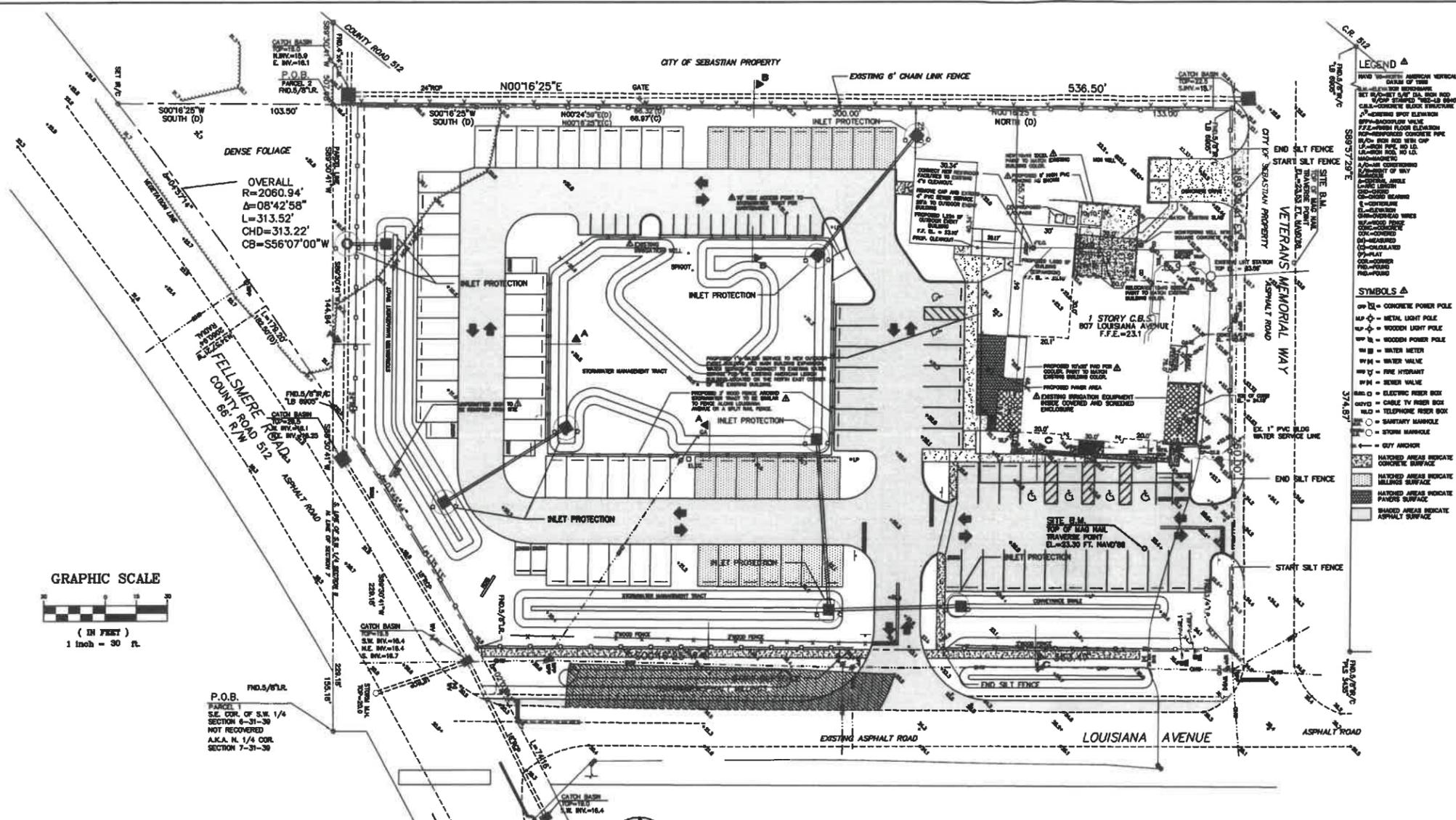
AMERICAN LEGION POST # 189
807 LOUISIANA AVENUE
SEBASTIAN, FLORIDA

PAVING, GRADING AND DRAINAGE SITE PLAN

18815

* SEE DETAIL SHEET FOR ADDITIONAL DETAILS

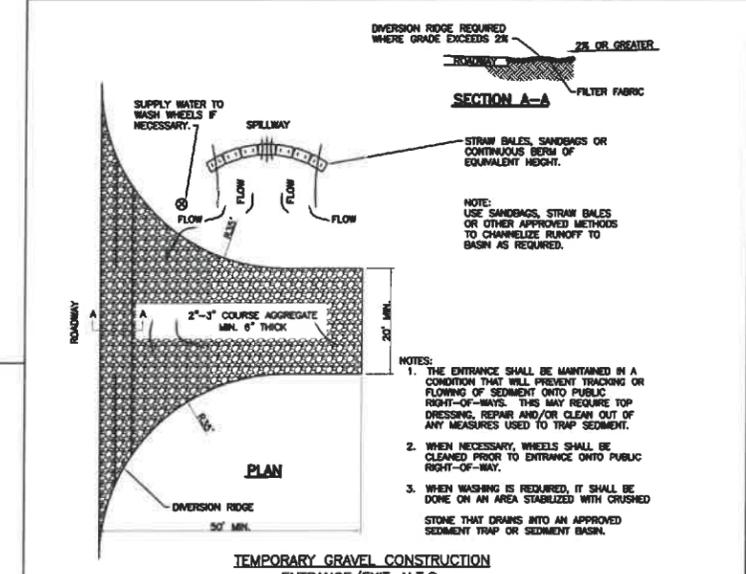
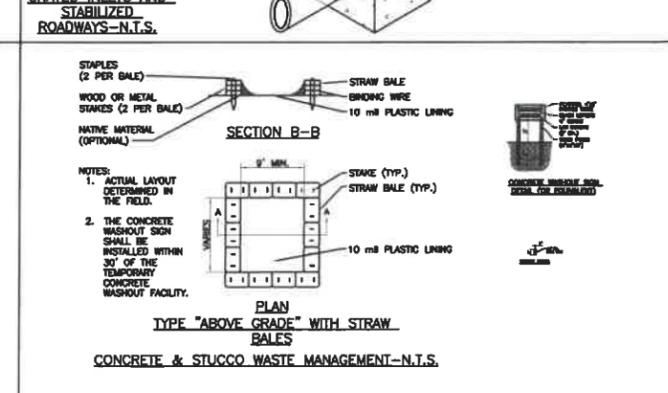
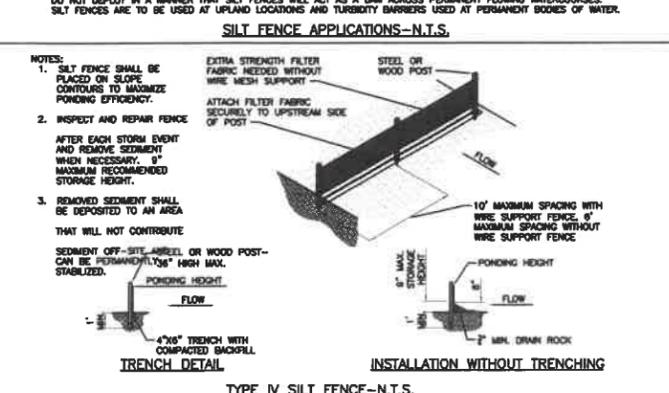
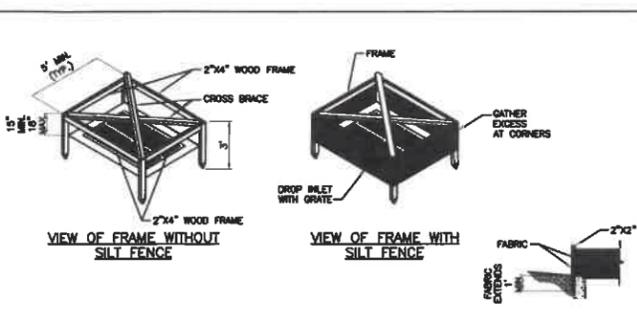
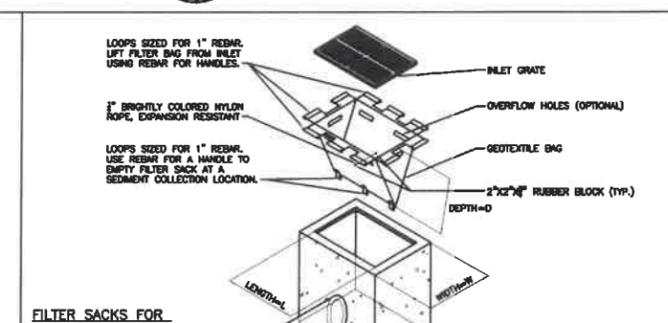
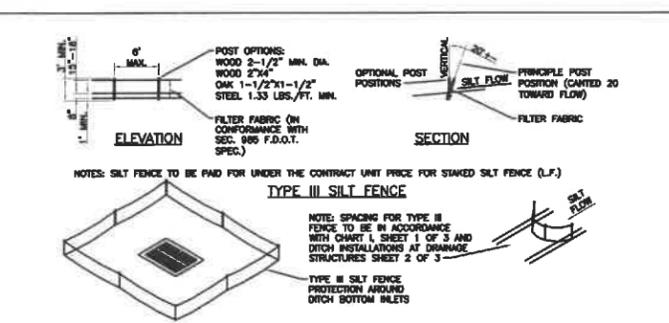
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- ### EROSION CONTROL NOTES
- Sediment basins and traps, perimeter dikes, sediment barriers and other measures intended to trap sediment shall be constructed as a first step in any land disturbing activity and shall be made functional before up-slope land disturbance takes place.
 - All sediment control measures are to be adjusted to meet field conditions at the time of construction and be constructed prior to any grading or disturbance of existing surface material on balance of site. Perimeter sediment barriers shall be constructed to prevent sediment or trash from flowing or floating on to adjacent properties.
 - Permanent or temporary soil stabilization shall be applied to denuded areas within seven (7) days after final grade is reached on any portion of the site. Temporary soil stabilization shall be applied within seven (7) days to denuded areas that may not be at final grade but will remain undisturbed for longer than 30 days. Permanent stabilization shall be applied to areas that are to be left undisturbed for more than one year.
 - During construction of the project, soil stock piles shall be stabilized, covered or contained with sediment trapping measures. The applicant is responsible for the temporary protection and permanent stabilization of all soil stockpiles on site as well as soil intentionally transported from the project site.
 - A permanent vegetative cover shall be established on denuded areas not otherwise permanently stabilized.
 - After any significant rainfall, sediment control structures will be inspected for integrity. Any damaged devices shall be corrected immediately.
 - Concentrated runoff shall not flow down cut or fill slopes unless contained within an adequate temporary or permanent channel, flume, slope drain structure or approved control.
 - Sediment will be prevented from entering any storm water system, ditch or channel. All storm water inlets that are made operable during construction shall be protected so that sediment-laden water cannot enter the conveyance system without first being filtered or otherwise treated to remove sediment.
 - When work in a live watercourse is performed, precautions shall be taken to minimize encroachment, control sediment transport and stabilize the work area to the greatest extent possible during construction.
 - Periodic inspection and maintenance of all sediment control structures must be provided to ensure intended purpose is accomplished. The developer, owner and/or contractor shall be continuously responsible for all sediment controls. Sediment control measures shall be in working condition at the end of each working day.
 - Where construction vehicle access routes intersect paved public roads, provisions shall be made to minimize the transport of sediment by tracking onto the paved surface. Where sediment is transported onto a public road surface with curbs and gutters, the road shall be cleaned thoroughly at the end of each day. Sediment shall be removed from the roads by shoveling or sweeping and transported to a sediment control disposal area. Street washing shall be allowed only after sediment is removed in this manner. This provision shall apply to individual subdivision lots as well as to larger land disturbing activities.
 - All temporary erosion and sediment control measures shall be removed within 30 days after final site stabilization or after the temporary measures are no longer needed.
 - Properties and waterways downstream from construction sites shall be protected from sediment deposition and erosion at all times during construction.
 - Erosion control design and construction shall follow the requirements in index numbers 101, 102 and 103 of F.O.D.T. Roadway and Traffic Design Standards and county permits.
 - Contractor is responsible for all surface water discharges, rainfall run off or dewatering activities.
 - Contractor must incorporate all BMP's necessary to meet or exceed state water quality and SWPPP requirements.
 - The Pollution Prevention Plan is a minimum guideline only. Additional BMP's may be necessary at contractor's expense.
 - NOI to be posted on site.
 - Dewatering activities:
 - Discharge must not exceed state water quality standards.
 - Contractor must have a transferable SJRWMD Consumptive Use Permit known as a "Noticed General Permit For Short Term Construction De-Watering".
 - No hydraulic pumps may be used for dewatering unless approved by the water management district for that area.
 - No turbid discharge. Turbidity readings are required once a week and must be reported to the project engineer.

STORMWATER POLLUTION PREVENTION PLAN

1" = 30'-0"



TODD N. SMITH
LICENSE
No. 42082

STATE OF FLORIDA
PROFESSIONAL ENGINEER

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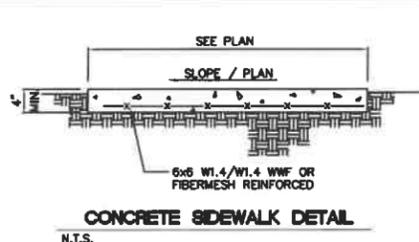
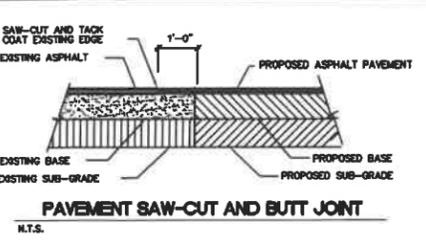
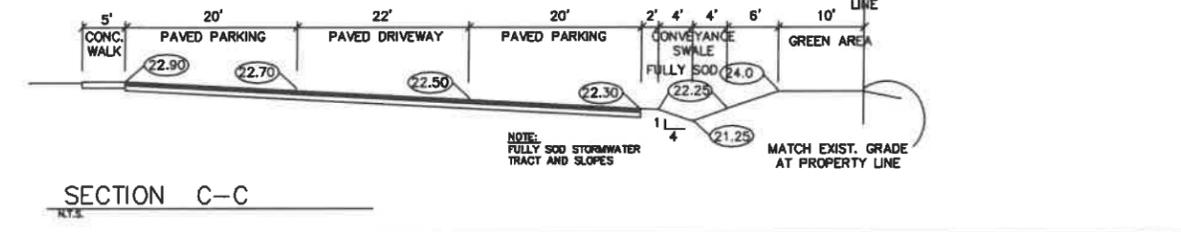
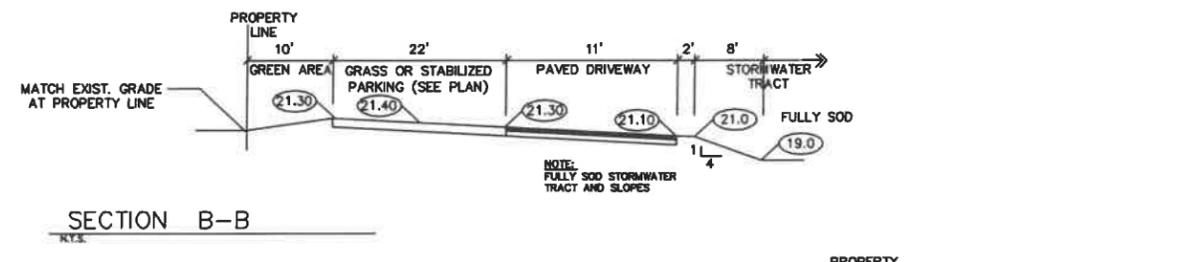
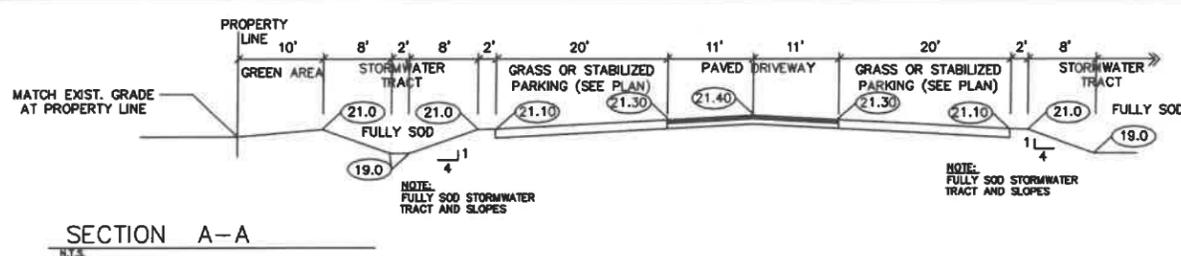
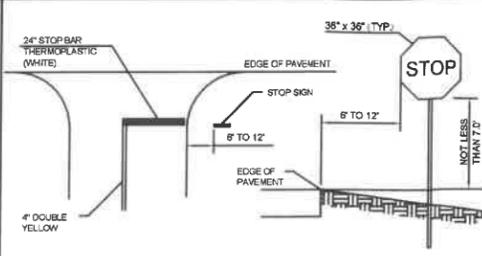
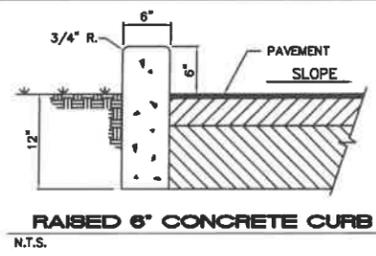
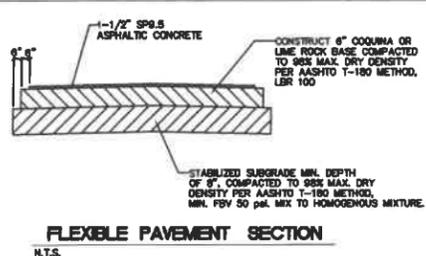
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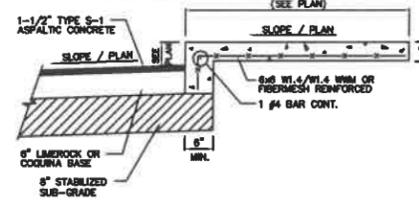
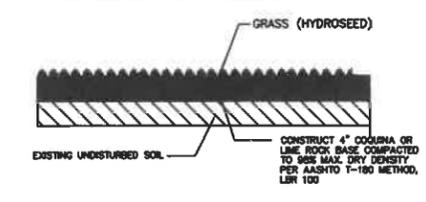
STORMWATER POLLUTION PREVENTION PLAN

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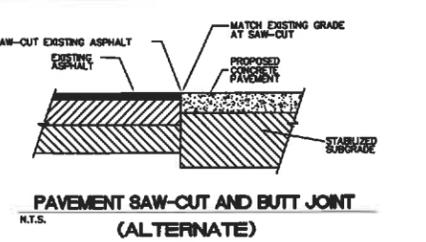
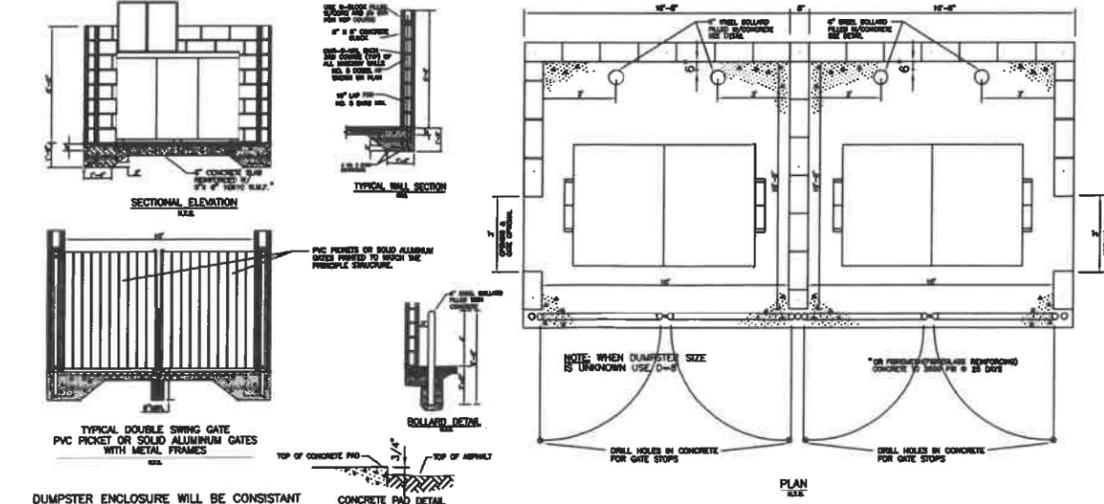
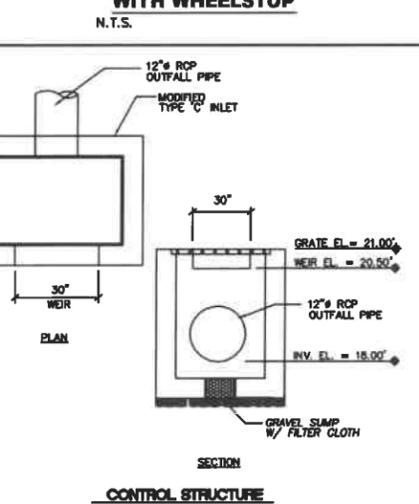
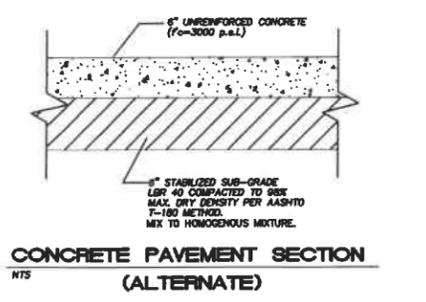
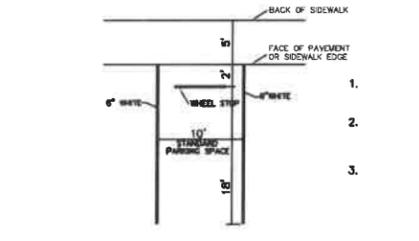
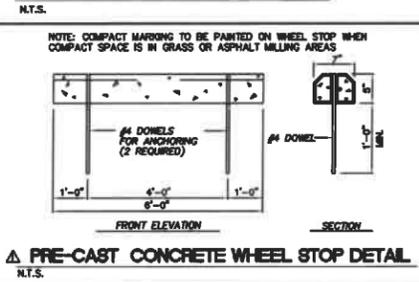
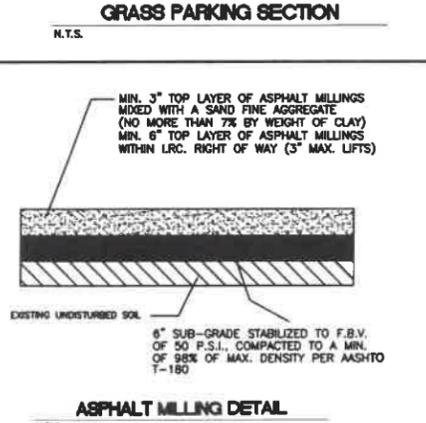
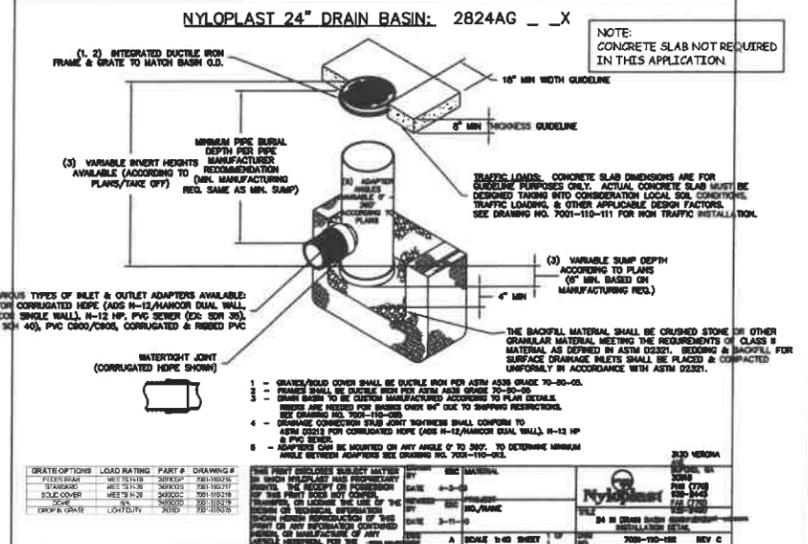
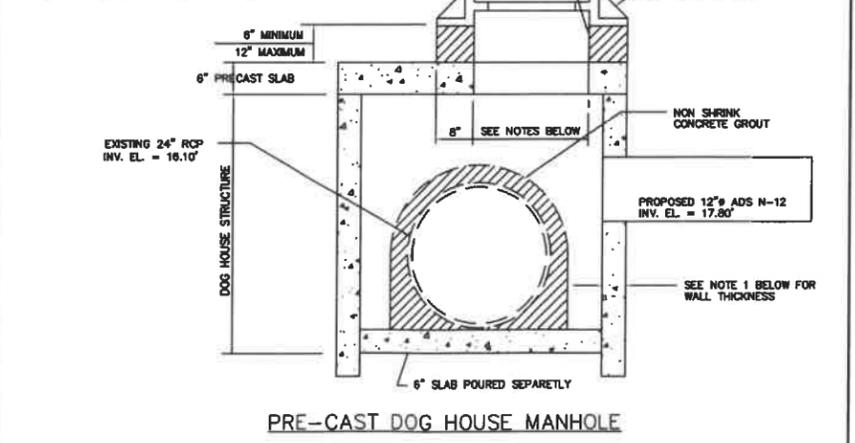
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BLADES: ALCOA #8054, #654, T8 ALLOY, ETCHED, DECREASED, WITH #1200 ALDINE FINISH, #2277 GREEN SCOTCH-LITE BACKGROUND OR EQUAL. DIMENSIONS: 8" HEIGHT, 24", 30" OR 36" LENGTHS.
LETTERS: NAME - 4" SERIES 'D' #2270 SCOTCH-LITE (SILVER) OR EQUAL. SURFIX - 2" SERIES 'D' #2270 SCOTCH-LITE (SILVER) OR EQUAL.
BRACKETS: DIECAST HIGH STRENGTH ALUMINUM ALLOY, MIN. TENSILE STRENGTH 45,000 PSI, DECREASED, TUMBLED AND POLISHED. SIDES OF ALL SLOTS SHALL BE SOLID METAL WITH TWO HOLES PER SLOT (SAME SIDE) DRILLED TO 1/2" AND TAPPED TO 1/4" TO RECEIVE STAINLESS STEEL ALLEN-HEAD SET SCREWS 3/8" OR POST CAP BRACKET TO BE DRILLED AND TAPPED FOR 3 SCREWS OF WHICH NO TWO IS TO BE LESS THAN 800 OR MORE THAN 1050 APART. (METRO HUSKY NO. 9 OR EQUAL) POST STANDARD 2" I.D. (2-3/8" O.D.) 1/4" LONG GALVANIZED STEEL, CLASS 'D' DIPPED. CONCRETE BASE: 2,000 AS SHOWN. LOCATION: 1 PER INTERSECTION.



NOTES
MINIMUM WALL THICKNESS SHALL BE FIVE (5) INCHES OR 1/2 THE INSIDE DIAMETER.
FILL ANNULAR VOID BETWEEN PIPE AND MANHOLE WITH GROUT AND FLUSH WITH MANHOLE WALLS.
MANHOLE TO BE INSTALLED WITH 24" RING AND COVER UNLESS OTHERWISE SPECIFIED.



STATE OF FLORIDA PROFESSIONAL ENGINEER
No. 42082
JUL 03 2020
C6

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SEBASTIAN, FLORIDA

DATE: 11-3-19
REVISIONS:
1
2
3
4
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6

JOB NO. 18815
DESIGNED: TNS
DRAWN: JMS
CHECKED: TNS
DATE: MAY 2019
SCALE: SHOWN

TECHNICAL SPECIFICATIONS

Sod: Two foot of Centipede sod to be placed on both sides of edge of pavement.

Seed, Fertilize and Mulch: All disturbed areas shall be stabilized with seed, fertilizer and mulch upon completion and acceptance by Engineer of final grading. Seed, fertilizer and mulch shall be in conformance to FDOT Sections 570, 575 and 981. The Contractor is responsible for establishing a stand of grass sufficient to prevent erosion and to allow removal of the temporary silt fences. The contractor may elect to use hydro seeding in lieu of seed, fertilizer and mulch at the same seed coverage. Seed mixture to be approved by engineer prior to application.

Testing: The Contractor shall secure the services of an approved independent testing laboratory to conduct all required testing on subgrade, base, asphalt and concrete. Locations required for these tests shall at a minimum be as specified on this sheet and as further required by the City of Sebastian. Engineer may require additional tests. Should any tests fail, contractor shall at his own expense, repair the deficiencies and retest the work until compliance with the specifications is demonstrated.

Traffic Control: The installation of Traffic Control Devices shall be in conformance to the requirements of the Manual of Uniform Traffic Control Devices and the City of Sebastian.

Drainage Improvements: All labor, materials and construction methods shall be in conformance to the minimum engineering and construction standards of the City of Sebastian and FDOT Specifications. Trench excavation and backfilling operations shall meet or exceed the requirements of FDOT Specifications, Section 125. The Contractor shall provide the necessary backfill compaction testing required to demonstrate compliance with this section. The pipe trench shall be dry when pipe is laid and the pipe shall be bedded per the details and per FDOT Specifications.

The Contractor shall comply with Chapter 90-96, Laws of Florida, which requires the Contractor performing trench excavations over five feet in depth comply with all applicable trench safety standards and shoring requirements as set forth in the Occupational Safety and Health Administrator's (OSHA) excavation and safety standards, 29 C.F.R. 1926.850, Sub-part P and incorporated as the State of Florida standard, as revised and/or updated. The cost of compliance with this requirement shall be included as a separate line item on the Contractor's bid. Otherwise, Contractor certifies that the cost of compliance is included in the unit cost of all items of work to which this requirement applies.

Corrugated Metal Pipe (CMP/CAP): All CMP shall be aluminum alloy, round, helical-wound corrugated pipe conforming to AASHTO-M 196-74 and FDOT Section 945. Pipe ends at joints shall be reformed to annular corrugations for the complete band width. All joints shall be soil-tight. All connecting bands shall be corrugated annular coupling bands. A Neoprene gasket of at least 7 inches wide by 3/8 inch thick shall be used for all pipes of 36-inch diameter and smaller. Larger pipe sizes require gaskets of at least 10-12 inches in width. All CMP shall be installed at maximum lengths to reduce the number of joints.

Advanced Drainage Systems (ADS): ADS N-12 pipe shall conform to conform to ASTM and AASHTO standards, all joints shall be soil-tight. Installation shall be per manufactures specifications

Reinforced concrete pipe(RCP): All RCP shall conform to the requirements of FDOT standard specifications and shall be Class III. Pipe joints shall be rubber gasket joints and the pipe joint shall be manufactured to meet the requirements of ASTM Designation C443-74.

Trench Backfill shall be as shown in the Drainage Details. In addition, testing under paved areas and control zones shall be as follows: One test location midway between structures and one test location adjacent to each structure. Engineer may request additional locations. Testing in each location shall begin in the first foot above the culvert with tests every two feet to within two feet of the sub-grade. Density shall be to 100 percent of maximum as determined by AASHTO T-99

Clearing and Grubbing: Clearing and grubbing shall be performed within the limits of the project work in accordance with Section 110, Florida Department of Transportation (FDOT) Specifications. This item shall include, but is not limited to, the complete removal and legal disposal of all trees, brush, stumps, roots, grass, weeds, rubbish and other undesirable material to a depth of 18 inches below natural ground or proposed finished grade, whichever is lower. The areas to be cleared generally consists of the entire site except for existing improvements and adjacent wetland/preserve areas. Care shall be taken to insure that no preserve areas or wetland areas are impacted by the clearing operation. Prior to initiating the clearing operation, all adjacent wetland and preserve areas shall be marked and flagged in accordance with the City of Sebastian and SJRWMD requirements, and shall be approved by City Planning Staff, if required. All such areas immediately adjacent to the clearing operation shall also be protected by the installation of temporary silt barriers, as shown on the drawings, in accordance with the requirements of the City and the St. John's River Water Management District (SJRWMD). Further erosion control shall be accomplished by seeding and mulching all disturbed areas as soon as they are at final grade, per the specifications for seeding and mulching.

All material shall be removed from the site and shall be legally disposed of in accordance with all local, state and federal requirements. Organic Material may be burned on-site provided Contractor obtains any and all required burn permits. Any unburned remains shall be disposed of off-site as specified above.

The Contractor shall maintain all stormwater on-site during construction to prevent discharge of turbid water offsite. Should severe storm events occur that make this impossible, the Contractor shall take all possible steps to prevent discharge of turbid water including installation of additional silt fence, hay bales and treatment of the existing pond with alum.

Earthwork and Grading: All earthwork and grading shall be performed as required to achieve the final grades, typical sections and elevations shown on the plans. Any fill placed shall be done in approximate 6" lifts. In all other respects, materials and construction methods for earthwork, embankment, excavation and grading shall conform to the requirements of FDOT Specifications, Section 120. Any plastic or otherwise undesirable material within 36 inches of finished road grade shall be removed and replaced with suitable material. All general earthwork and grading shall be constructed to within 0.25 feet of design grade. All road swales and shoulders shall be constructed to within 0.1 feet of design grade. All culverts shall be laid to within 1/16 inch per foot or a maximum deviation of 0.25 feet in elevation and 1 foot horizontally

Silt fence shall be installed in the locations shown on the drawings in accordance to the details and specifications included elsewhere on these drawings

Paving Improvements: All areas proposed for paving shall be constructed in accordance with the design grades and typical sections shown on the drawings, and in conformance to the requirements of the City of Sebastian.

Asphalt: Prime Coat and tack coat for base course and between lifts of asphalt shall conform to the requirements of Sections 300-1 through 300-7 of the FDOT Specifications. Prime Coat shall be applied at a rate of 0.10 gallons per square yard and tack coat at a rate of 0.04 gallons per square yard, unless otherwise approved by the Engineer.

Asphalt surface course shall be Type S or SP per FDOT Section 331 & 334, with a maximum aggregate size of 1/2 inch and shall have a minimum Marshall stability of 1,000 lbs. Thickness shall be as specified on the details for each pavement section.

Base: Limerock base material shall be compacted to 98% of maximum density per AASHTO T-180 & to an LBR of 100. All limerock shall meet the minimum requirements of FDOT Section 911. As an alternate, cemented coquina conforming to FDOT Section 915 may be substituted and shall be subject to the compaction specifications detailed above. Certified compaction tests shall be submitted to the City of Sebastian Engineer prior to base approval. Thickness shall be as specified on the details for each pavement section.

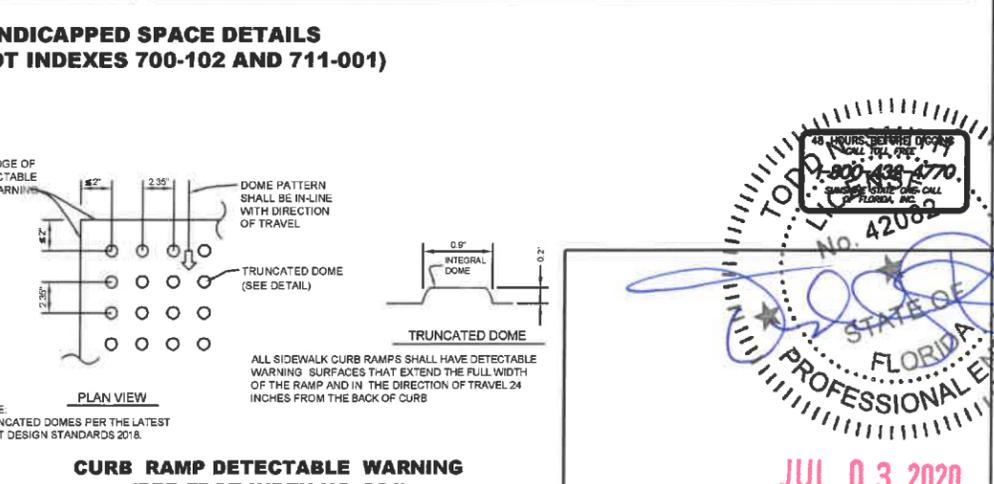
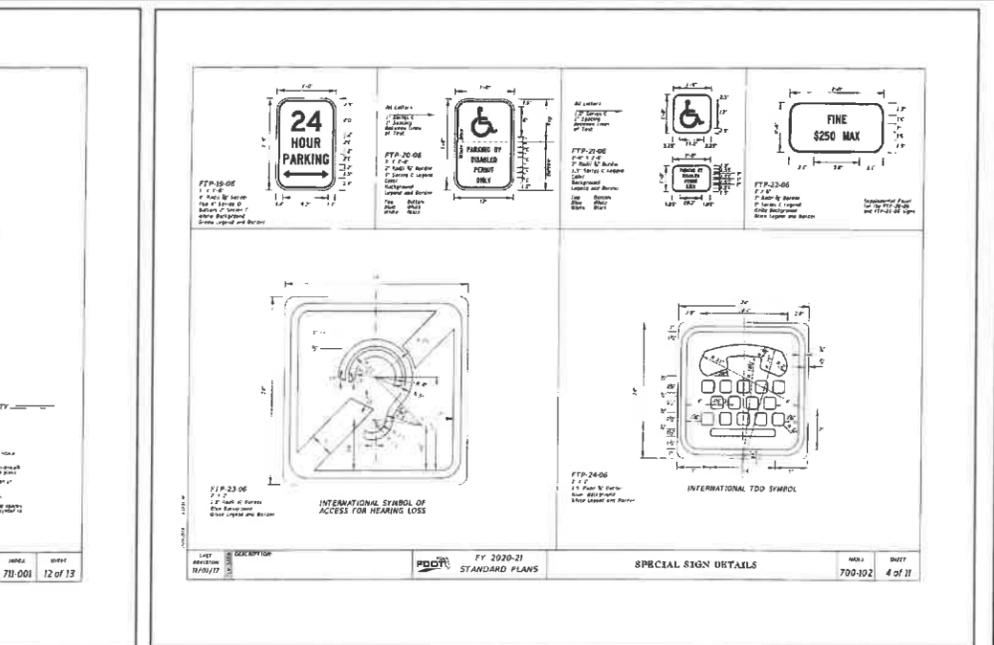
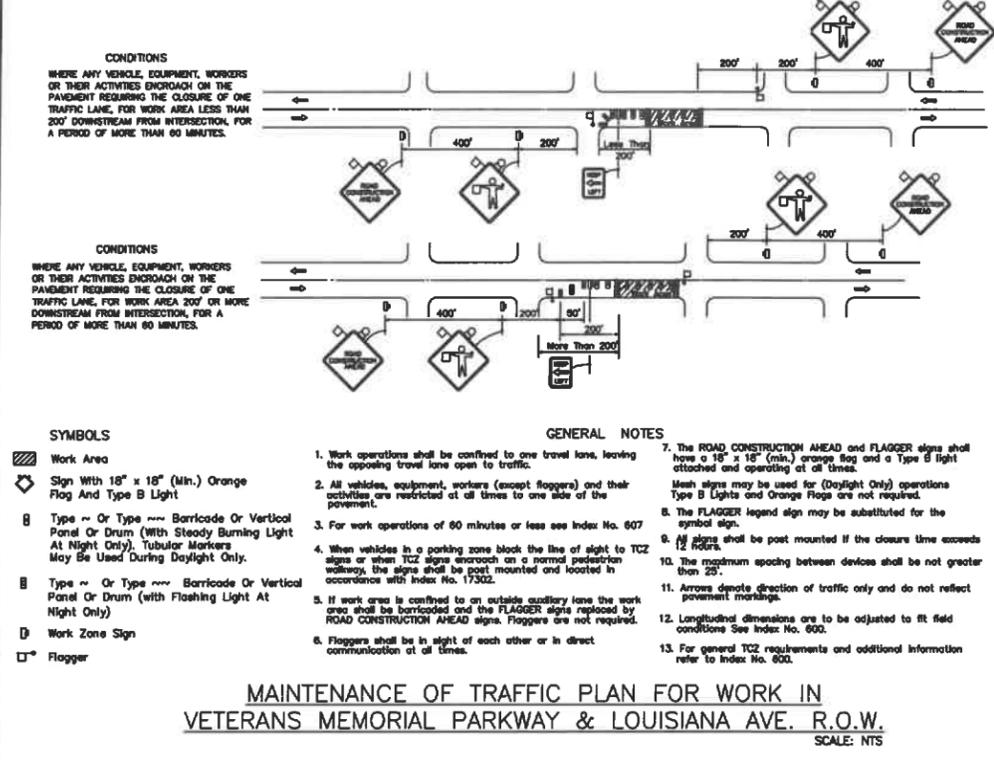
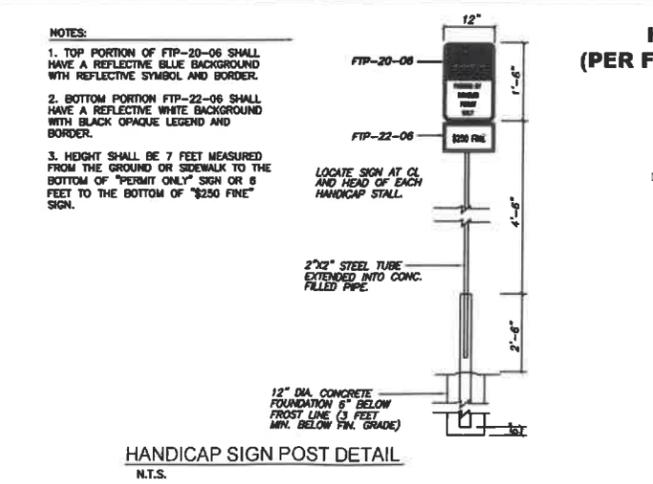
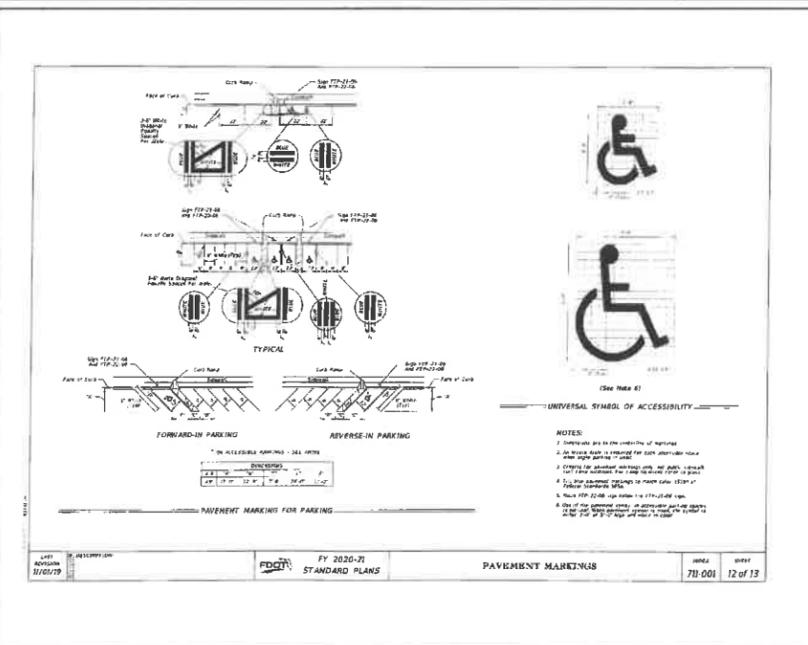
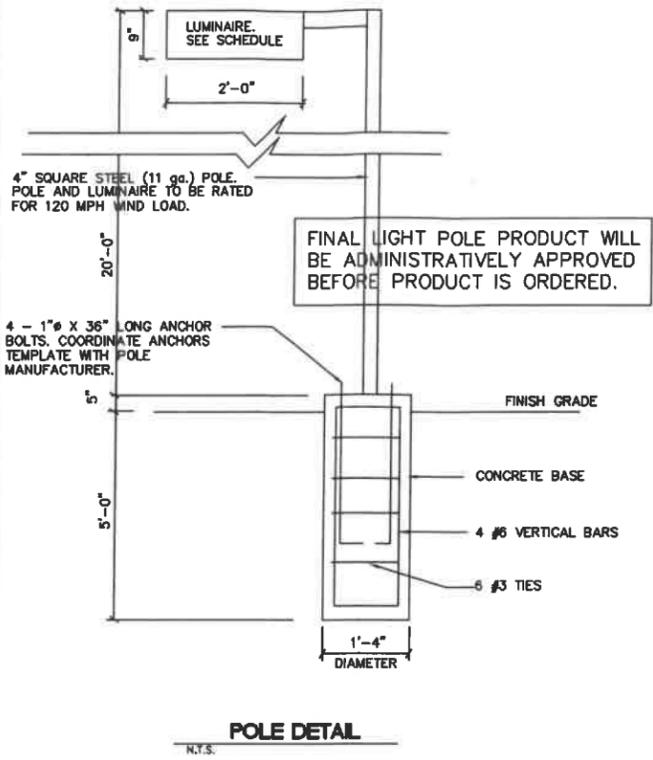
Subgrade: Subgrade shall be compacted to 98% of maximum density per AASHTO T-180, and stabilized to a minimum LBR of 40. Subgrade shall be thoroughly rolled with a pneumatic tired roller prior to scheduling any subgrade inspection. Certified compaction tests shall be submitted to the City of Sebastian Engineer prior to subgrade approval.

GENERAL NOTES

- CONTRACTOR IS RESPONSIBLE FOR CHECKING ACTUAL SITE CONDITIONS BEFORE STARTING CONSTRUCTION.
- ANY DISCREPANCIES ON THE DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER BEFORE COMMENCING WORK.
- NO FIELD CHANGES OR DEVIATIONS FROM DESIGN TO BE MADE WITHOUT PRIOR APPROVAL OF THE ENGINEER.
- CONTRACTOR SHALL OBTAIN ALL REQUIRED BUILDING PERMITS BEFORE COMMENCING WORK.
- ALL CONSTRUCTION SHALL BE COMPLETED IN ACCORDANCE WITH THE APPLICABLE ORDINANCES OF THE CITY OF SEBASTIAN, FLORIDA.
- BOUNDARY AND TOPOGRAPHIC INFORMATION PREPARED BY WILLIAM B. BENTZ AND ASSOCIATES, INC. DATED 1/3/18. ALL ELEVATIONS ARE PER BENCHMARK REFERENCED ON THIS SURVEY.
- REFER TO SOILS REPORT PREPARED BY KSM ENGINEERING AND TESTING, INC. DATED JULY 23, 2018.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL EXISTING UTILITIES. THE CONTRACTOR SHOULD CALL SUNSHINE STATE ONE CALL AT 1-800-432-4770 AND THE UTILITY OWNERS AT LEAST 48 HOURS PRIOR TO DIGGING NEAR UNDERGROUND UTILITIES.
- THE LOCATION OF EXISTING UTILITIES SHOWN IN THE PLANS ARE APPROXIMATE ONLY. THE EXACT LOCATION SHALL BE DETERMINED BY THE CONTRACTOR AND UTILITY OWNER DURING CONSTRUCTION. CONTRACTOR SHALL COORDINATE RELOCATION OF UTILITIES WITH THE UTILITY COMPANIES.
- ALL WORK SHALL BE IN CONFORMANCE WITH THE FLORIDA DEPARTMENT OF TRANSPORTATION'S ROADWAY AND TRAFFIC DESIGN STANDARDS, LATEST EDITION AND STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION, AND APPLICABLE CITY OF SEBASTIAN STANDARDS.
- A PRE-CONSTRUCTION MEETING IS REQUIRED BETWEEN CITY OF SEBASTIAN, ENGINEER AND CONTRACTOR BEFORE COMMENCEMENT OF CONSTRUCTION.
- THE ENGINEER SHALL BE NOTIFIED AT LEAST 48 HOURS IN ADVANCE FOR ANY INSPECTION.
- DENSITY TESTS ON ALL PIPE BACKFILL, SUBGRADE AND BASE WORK SHALL BE PERFORMED AND CERTIFIED BY AN INDEPENDENT GEOTECHNICAL TESTING LAB AND SHALL BE PAID FOR BY THE CONTRACTOR. DENSITY TESTS SHALL BE PERFORMED PER AASHTO T-180 METHOD. DENSITY TESTS SHALL BE PERFORMED ON PIPE INSTALLATIONS PER CITY OF SEBASTIAN STANDARDS. DENSITY TEST RESULTS SHALL BE SUPPLIED TO THE ENGINEER.
- ALL PIPE JOINTS SHALL BE WRAPPED WITH FILTER CLOTH.
- ALL PIPE AND DRAINAGE STRUCTURES SHALL BE INSTALLED IN THE DRY.
- BACKFILL AROUND DRAINAGE PIPES AND COMPACT TO 98% MAX. DRY DENSITY PER AASHTO T-180.
- SLOPE GRADES FROM ELEVATIONS SHOWN TO EXISTING GRADES AT PROPERTY LINES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR AND RESTORATION OF EXISTING PAVEMENT, PIPES, CONDUITS, CABLES, ETC., AND LANDSCAPED AREAS INCLUDING IRRIGATION PIPES AND SPRINKLERS DAMAGED AS A RESULT OF THE CONTRACTOR'S OPERATIONS AND/OR THOSE OF HIS SUBCONTRACTORS, AND SHALL RESTORE THEM PROMPTLY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES THAT ARE TO REMAIN IN PLACE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND MAINTAINING COVERAGE UNDER THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION'S GENERAL PERMIT FOR STORMWATER DISCHARGE FROM LARGE AND SMALL CONSTRUCTION ACTIVITIES.
- EXISTING PAVEMENT SHALL BE SAWCUT WHERE PAVEMENT IS TO BE REMOVED AND WHERE NEW PAVEMENT IS TO JOIN IT.
- EXISTING SIGNAGE LOCATED IN CONFLICT WITH PROPOSED CONSTRUCTION SHALL BE RELOCATED PER THE DIRECTION OF THE ENGINEER.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTENANCE OF TRAFFIC DURING CONSTRUCTION ACTIVITIES. ALL TRAFFIC CONTROL SHALL BE IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS, LATEST EDITION.
- ALL DISTURBED AREAS SHALL BE RESTORED TO ORIGINAL CONDITION UNLESS NOTED OTHERWISE.
- ALL DISTURBED AREAS WITHIN CITY AND STATE RIGHTS OF WAY SHALL BE SOODED WITHIN 72 HOURS OF FINAL GRADING. FERTILIZER R-0-15S AND EASEMENTS SHALL BE FULLY SOODED OR SEEDED AND MULCHED AT PROJECT COMPLETION.
- PRIOR TO CONSTRUCTION, THE DEVELOPER SHALL VIDEO TAPE THE EXISTING CONDITIONS ALONG THE ENTIRE SITE BOUNDARY AND HAVE AVAILABLE AT THE REQUEST OF THE CITY OF SEBASTIAN.
- ANY DAMAGED SIDEWALKS ALONG PROJECT FRONTAGE SHALL BE REPLACED.
- ALL EXCESS CONSTRUCTION MATERIAL AND WASTE TO BE HAULED OFF SITE AND DISPOSED OF PROPERLY AT CONTRACTORS EXPENSE.
- CONCRETE PAVEMENT ALTERNATE SHALL BE PROVIDED WITH CONTRACTION JOINTS (20' MAXIMUM SPACING) WITH 1-1/2" DEPTH.
- CONCRETE PAVEMENT ALTERNATE SHALL BE PROVIDED WITH A PIGMENTED LIQUID MEMBRANE CURING COMPOUND CONFORMING TO THE REQUIREMENTS OF ASTM DESIGNATION (309).
- CONTRACTOR SHALL INFORM ENGINEER OF ANY CONFLICT OR DISCREPANCIES IN THE CONSTRUCTION DRAWINGS BEFORE ANY FURTHER WORK IS COMPLETED.
- CONSTRUCTION ACTIVITIES WITHIN THE CITY LIMITS SHALL ONLY BE ALLOWED DURING THE HOURS OF 7:00 A.M. TO 7:00 P.M. MONDAY THROUGH FRIDAY, AND 8:00 A.M. TO 5:00 P.M. ON SATURDAY AND SUNDAY.

GENERAL TRAFFIC NOTES

- ALL SIGN SHEET MATERIAL AND SIGN POSTS SHALL BE IN ACCORDANCE WITH FDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.
- ALL PAVEMENT MARKINGS WITHIN THE FOOT RIGHT OF WAY, SHALL CONSIST OF 90 MIL EXTRUDED TYPE, ALKYL BASE THERMOPLASTIC.
- PAVEMENT MARKINGS AND SIGN MATERIALS SHALL BE IN ACCORDANCE WITH FDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, FDOT TRAFFIC ENGINEERING MANUAL, AND INDIAN RIVER COUNTY DESIGN STANDARDS, FDOT DESIGN STANDARDS, THE MUTCD, LATEST EDITIONS.
- ALL HANDICAPPED PARKING SPACES SHALL BE PROPERLY SIGNED AND STRIPED IN ACCORDANCE WITH FDOT STANDARD INDEX NO. 17346, 2015 EDITION.
- ALL PARKING SPACES WITH THE EXCEPTION OF THE HANDICAPPED PARKING SPACES SHALL BE MARKED IN WHITE, RETRO REFLECTIVE TRAFFIC PAINT AND BE IN ACCORDANCE WITH THE FLORIDA DEPARTMENT OF TRANSPORTATION'S (FDOT) STANDARD SPECIFICATIONS FOR ROADS AND BRIDGE CONSTRUCTION, 2010 SECTION 710.
- ALL COMPACT SPACES, IF ANY, SHALL BE MARKED "COMPACT" INDIVIDUALLY ON THE STALL OR TIRE STOP.
- BOLD ARROWS INDICATED ON THE PLAN ARE FOR SITE PLAN INFORMATION PURPOSES ONLY. THEY DO NOT REPRESENT ACTUAL PAVEMENT MARKINGS.



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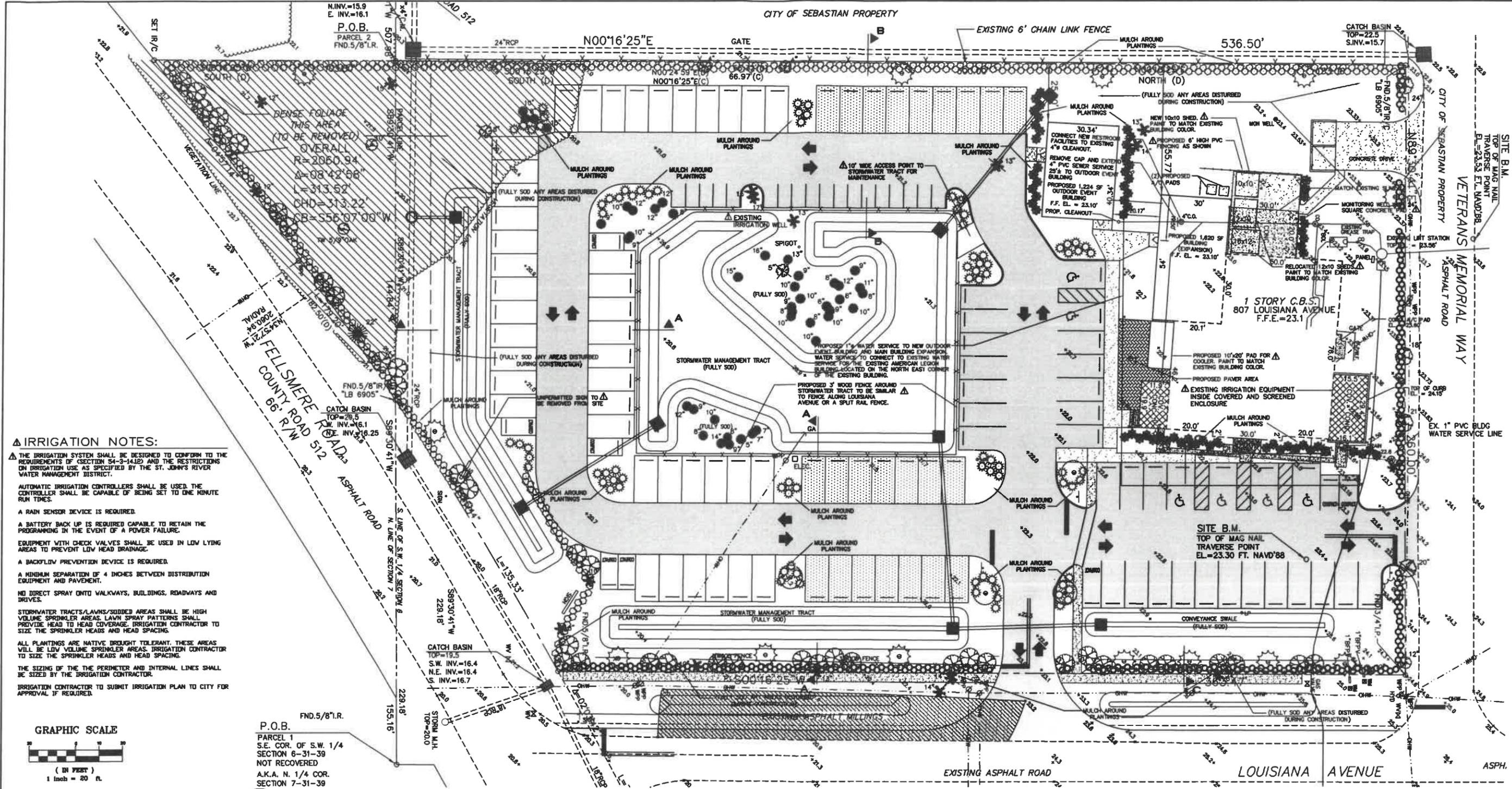
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NO. 42089
STATE OF FLORIDA
PROFESSIONAL ENGINEER
JUL 03 2020
C7



IRRIGATION NOTES:

THE IRRIGATION SYSTEM SHALL BE DESIGNED TO CONFORM TO THE REQUIREMENTS OF SECTION 54-3-14(2) AND THE RESTRICTIONS ON IRRIGATION USE AS SPECIFIED BY THE ST. JOHN'S RIVER WATER MANAGEMENT DISTRICT.

AUTOMATIC IRRIGATION CONTROLLERS SHALL BE USED. THE CONTROLLER SHALL BE CAPABLE OF BEING SET TO ONE MINUTE RUN TIMES.

A RAIN SENSOR DEVICE IS REQUIRED.

A BATTERY BACK UP IS REQUIRED CAPABLE TO RETAIN THE PROGRAMMING IN THE EVENT OF A POWER FAILURE.

EQUIPMENT WITH CHECK VALVES SHALL BE USED IN LOW LYING AREAS TO PREVENT LOW HEAD DRAINAGE.

A BACKFLOW PREVENTION DEVICE IS REQUIRED.

A MINIMUM SEPARATION OF 4 INCHES BETWEEN DISTRIBUTION EQUIPMENT AND PAVEMENT.

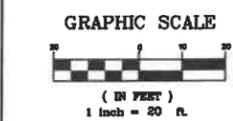
NO DIRECT SPRAY ONTO WALKWAYS, BUILDINGS, ROADWAYS AND DRIVES.

STORMWATER TRACTS/LAWNS/SODDED AREAS SHALL BE HIGH VOLUME SPRINKLER AREAS. LAWN SPRAY PATTERNS SHALL PROVIDE HEAD TO HEAD COVERAGE. IRRIGATION CONTRACTOR TO SIZE THE SPRINKLER HEADS AND HEAD SPACING.

ALL PLANTINGS ARE NATIVE DROUGHT TOLERANT. THESE AREAS WILL BE LOW VOLUME SPRINKLER AREAS. IRRIGATION CONTRACTOR TO SIZE THE SPRINKLER HEADS AND HEAD SPACING.

THE SIZING OF THE PERIMETER AND INTERNAL LINES SHALL BE SIZED BY THE IRRIGATION CONTRACTOR.

IRRIGATION CONTRACTOR TO SUBMIT IRRIGATION PLAN TO CITY FOR APPROVAL IF REQUIRED.



P.O.B.
PARCEL 1
S.E. COR. OF S.W. 1/4
SECTION 6-31-39
NOT RECOVERED
A.K.A. N. 1/4 COR.
SECTION 7-31-39

LANDSCAPE PLAN

1" = 20'-0"

EXISTING LANDSCAPE CREDITS

| TYPE | SIZE (DBH) | CREDITS | NO. OF TREES | TOTAL | TYPE | SIZE (DBH) | CREDITS | NO. OF TREES | TOTAL | |
|----------------|------------|---------|--------------|--------------|----------------|------------|---------|--------------|-----------|------------|
| EXISTING TREES | | | | | EXISTING TREES | | | | | |
| PINE | 5 | 2 | 1 | 2 | DAKOTA | 10" | 1 | 14 | 14 | |
| PINE | 6 | 2 | 1 | 2 | DAKOTA | 5" | 2 | 1 | 2 | |
| PINE | 7 | 2 | 2 | 4 | DAKOTA | 5" | 2 | 1 | 2 | |
| PINE | 8 | 2 | 9 | 18 | DAKOTA | 10" | 2 | 1 | 2 | |
| PINE | 9 | 2 | 8 | 16 | DAKOTA | 12" | 3 | 1 | 3 | |
| PINE | 10 | 2 | 10 | 20 | DAKOTA | 18" | 3 | 1 | 3 | |
| PINE | 11 | 3 | 1 | 3 | DAKOTA | 21" | 5 | 1 | 5 | |
| PINE | 12 | 3 | 5 | 15 | DAKOTA | 24" | 5 | 1 | 5 | |
| PINE | 13 | 3 | 1 | 3 | MAGNOLIA | 4" | 1 | 1 | 1 | |
| PINE | 14 | 3 | 2 | 6 | MAGNOLIA | 4" | 1 | 1 | 1 | |
| PINE | 15 | 3 | 2 | 6 | | | | | | |
| PINE | 16 | 3 | 1 | 3 | | | | | | |
| PINE | 22 | 5 | 1 | 5 | | | | | | |
| | | | | TOTAL | | | | | 67 | 141 |

TOTAL = 141 CREDITS
TREES REMOVED = 4 PALM, 80' OAK AND 5' & 6' SCIEFFLERA

LANDSCAPE DATA

- VETERANS MEMORIAL WAY = 10' WIDE STRIP REQUIRED
5 CANOPY, 8 UNDERSTORY AND CONTINUOUS HEDGE(232 LF)
12 CANOPY TREES, 14 UNDERSTORY TREES AND 106 SHRUBS
11 EXISTING TREE CREDITS (21" OAK, 18" OAK AND 3 PALM)
2 PROPOSED OAK TREES AND (VARIANCE FOR 14 UNDERSTORY TREES)
92 SHRUBS
- LOUISIANA AVENUE = 10' WIDE STRIP REQUIRED
5 CANOPY, 8 UNDERSTORY AND CONTINUOUS HEDGE(342')
17 CANOPY TREES, 21 UNDERSTORY TREES AND 162 SHRUBS
8 EXISTING TREE CREDITS (12" OAK AND 3 PALMS)
7 OAK TREES, 4 HOLLY TREES AND 21 UNDERSTORY TREES
159 SHRUBS
- OR 512 = 10' WIDE STRIP REQUIRED
5 CANOPY, 8 UNDERSTORY AND CONTINUOUS HEDGE(315')
18 CANOPY TREES, 18 UNDERSTORY AND 163 SHRUBS
15 TREE CREDITS (22" PINE, 5", 9" AND 10" OAKS AND 4 PALMS)
1 PROPOSED OAK TREE AND 19 UNDERSTORY TREES
163 SHRUBS
- WEST PROPERTY LINE = 10' WIDE STRIP REQUIRED
5 CANOPY, 8 UNDERSTORY AND CONTINUOUS HEDGE(357')
27 CANOPY TREES, 33 UNDERSTORY AND 264 SHRUBS
23 TREE CREDITS (24" OAK, 2-4" MAGNOLIAS, 4 PALMS AND 8", 9", 10" 14" AND 15" PINES)
- PROPOSED OAK TREES AND (VARIANCE FOR 33 UNDERSTORY TREES)
264 SHRUBS
- OFF STREET PARKING REQUIRED = 1 TREE/5 SPACES
1 TREE/3 SPACES(14 SPACES) = 28 TREES
28 EXISTING TREE CREDITS (2-8", 3-9", 2-10" AND 3-12" PINES)

- OPEN SPACE LANDSCAPING 1 TREE/2,000 SF
1 TREE/2,000SF(60,647 SF) = 31 TREES
67 EXISTING TREE CREDITS (1-5", 1-6", 2-7", 7-8", 5-9", 7-10", 1-11", 2-12", 1-13", 1-14", 1-15" AND 1-16" PINES)
0 PROPOSED TREES
- TOTAL REQUIRED TREES = 126 CANOPY TREES AND 87 UNDERSTORY TREES
EXISTING TREE CREDITS = 141 CREDITS
PROPOSED CANOPY TREES = 18 TREES (14 OAK AND 4 HOLLY)
PROPOSED UNDERSTORY TREES = 40 CREPE MYRTLES
PROPOSED UNDERSTORY TREES (VARIANCE) = 47 TREES
TOTAL TREES/CREDITS PROVIDED = 199 TREES

WAIVER REQUESTED FOR A TOTAL OF 47 UNDERSTORY TREES
14 ALONG VETERANS MEMORIAL HWY.
33 ALONG WEST PROPERTY LINE
ADDITIONAL 33 EXISTING CANOPY TREE CREDITS PROVIDED ON SITE. THESE TREES ARE NOT CREDITED TOWARDS SITE REQUIREMENTS.

LANDSCAPE LEGEND

| SYMBOL | NUMBER | COMMON NAME | BOTANICAL NAME | HT. | SPREAD | CAL. | NATIVE | DROUGHT TOLERANT |
|----------------------------|--------|-------------------|----------------------|-----|--------|-------------|--------|------------------|
| EXISTING TREES | | | | | | | | |
| (Symbol) | 7 | LIVE OAK | QUERCUS VIRGINIANA | | | | YES | YES |
| (Symbol) | 14 | CABBAGE PALM | SABAL PALMETTO | | | | YES | YES |
| (Symbol) | 44 | SLASH PINE | PINUS ELLIOTTII | | | | YES | YES |
| (Symbol) | 2 | SOUTHERN MAGNOLIA | MAGNOLIA GRANDIFLORA | | | | YES | YES |
| PROPOSED CANOPY | | | | | | | | |
| (Symbol) | 14 | LIVE OAK | QUERCUS VIRGINIANA | 12' | 6' | 2" | YES | YES |
| (Symbol) | 4 | DAHON HOLLY | ILEX CASSINE | 12' | 6' | 2" | YES | YES |
| PROPOSED UNDERSTORY | | | | | | | | |
| (Symbol) | 40 | CREPE MYRTLE | AGERSTROCHIA INDICA | 6' | 4' | MULTI TRUNK | NO | YES |

| SYMBOL | NUMBER | COMMON NAME | BOTANICAL NAME | HT. | SPREAD | CAL. | NATIVE | DROUGHT TOLERANT |
|------------------------|--------|-------------------|------------------------|-----|--------|------|--------|------------------|
| PROPOSED SHRUBS | | | | | | | | |
| (Symbol) | 427 | WAX MYRTLE | MYRTICA CERIFERA | 36" | N/A | N/A | YES | YES |
| (Symbol) | 251 | RED TIP COCCOPLUM | CHRYSOBALANUS ICACOD | 36" | N/A | N/A | YES | YES |
| (Symbol) | 63 | SLIPSON STOPPER | MYRTICANTHUS FRAGRANS | 24" | N/A | N/A | YES | YES |
| (Symbol) | 87 | PINK NURL GRASS | MULCHBERGIA CAPILLARIS | 18" | N/A | N/A | YES | YES |

X = EXISTING TREE (TO BE REMOVED)

SITE NOTES:

- ALL NUISANCE EXOTIC VEGETATION EXISTING WITHIN PROJECT SITE PROPERTY MUST BE REMOVED IN CONJUNCTION WITH SITE DEVELOPMENT, (INCLUDING PARCEL 2)
- AN IRRIGATION WELL AND PUMP EXISTS ON SITE.
- ALL DISTURBED AREAS ARE TO BE STABILIZED AND GRASSED. THE EXISTING 68 TREES ON SITE THAT I AM REQUESTING THE CREDITS ARE "EXCEPTIONAL QUALITY TREES". NONE OF THE EXISTING TREES ARE POOR SPECIMENS OR IN DECLINE.
- TREES AND SHRUBS ARE TO BE PROTECTED FROM DALLIPLOR TRIMMING (CONICAL AND/OR SPHERICAL SHAPING).
- A SEPARATE IRRIGATION PLAN IS REQUIRED.

AMERICAN LEGION POST # 189
CERTIFIED PROFESSIONAL DESIGNER #00069 exp. 2010

48 HOURS BEFORE DIGGING
CALL TOLL FREE
1-800-432-4770
SCHEDULE SITE ONE CALL
OF FLORIDA, INC.

JUL 03 2020

JMS Design Studios, Inc.
FLORIDA CERTIFIED LANDSCAPE DESIGNER
FCLD #0069
1485 24TH STREET SW
NEBO BEACH, FLORIDA 32962
CELL (772) 632-6864
jms@jmsdesign.com

AMERICAN LEGION POST # 189
807 LOUISIANA AVENUE
SEBASTIAN, FLORIDA

LANDSCAPE PLAN

SHEET LS1

18815

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LANDSCAPE SPECIFICATIONS

PART 1: GENERAL CONDITIONS

- 1.01 SCOPE: The landscape contract includes the supplying and planting of all trees, shrubs, vines, and ground cover together with all necessary labor, equipment, tools and materials needed for the successful completion, execution and maintenance of the landscape plans.
- 1.02 AGENCY STANDARDS: Grades and standards of plant materials to be used shall be true to name, size, condition and graded Florida #1 or better as shown on the drawings and Standards of Florida Plant Materials published by the State of Florida Department of Agriculture, Tallahassee, Florida.
- 1.03 SITE EXAMINATION: The Landscape Contractor shall personally examine the site and fully acquaint him/herself with all of the existing conditions and understand the site and its surroundings prior to the start of the work or the start of the work to be performed, and additionally, in order to ascertain him/herself with all of the conditions to be taken in order to avoid injury to property or persons. No additional compensation will be granted because of any unforeseen conditions which may be encountered in the execution or maintenance of any portion of the work.
- 1.04 ERRORS AND OMISSIONS: The plant list is a part of the drawings and is furnished as a convenience. The plant list includes the name, size and quantity of plants to be installed and is located on the drawings. The Landscape Contractor is responsible for his/her own quantity count, and any discrepancy between drawings and plant list shall be considered as correct on the drawings.
- 1.05 EXECUTION OF THE WORK: The Landscape Contractor shall have his labor force controlled and directed by a Foreman well versed in plant materials, planting methods, reading blueprints, and coordination between job and nursery in order to execute the work in a timely manner.
- 1.06 PROTECTION OF PUBLIC AND PROPERTY: The Landscape Contractor shall protect all materials and work against injury from any cause and shall provide and maintain all necessary safeguards for the protection of the public. He shall be held responsible for any damage or injury to persons or property which may occur as a result of his fault or negligence in the execution of the work, i.e. damage to underground pipes or cables.
- 1.07 CHANGES AND EXTENS: The Contractor shall not start work on any changes or "extras" in the project until a written agreement setting forth the adjusted prices has been executed by the Owner and the Contractor. Any work performed on extras or "extras" prior to execution of a written agreement may or may not be compensated for by the Owner at his discretion.
- 1.08 GUARANTEE: The Landscape Contractor shall furnish a written guarantee warranting all materials, workmanship and plant material for a period of ONE (1) YEAR from the time of completion and acceptance by the Landscape Designer and Owner. All plant material shall be guaranteed to 90 calendar days after acceptance by the Landscape Designer and Owner. All plant material shall be guaranteed to 90 calendar days after acceptance by the Landscape Designer and Owner. All plant material shall be guaranteed to 90 calendar days after acceptance by the Landscape Designer and Owner. All plant material shall be guaranteed to 90 calendar days after acceptance by the Landscape Designer and Owner.
- 1.09 CARE AND MAINTENANCE: The Landscape Contractor shall be responsible for the care and maintenance of all plant materials until final acceptance by the Owner or Landscape Designer.
- 1.10 SAFETY: It shall be the responsibility of the Landscape Contractor to protect all persons from injury and to avoid property damage. Adequate warning devices shall be placed and maintained during the progress of the work.
- 1.11 CONTRACTOR QUALIFICATION: The Owner may require the applicant contractor (s) to qualify him/herself to be a responsible entity by furnishing any or all of the following documentary data:
 1. A financial statement showing assets and liabilities of the company current to date.
 2. A listing of not less than (2) completed projects of similar scope and nature.
 3. Personnel and address of place of business.
 4. The number of regular employees of the organization and length of time the organization has been in business under the present name.

PART 2: MATERIALS

- 2.01 PLANT MATERIALS: A complete list of plants is shown on the drawings, including a schedule of quantities, sizes, and such other requirements deemed necessary. In the event discrepancies occur, the specifications on the drawings shall govern.
- 2.02 INSPECTION: The Landscape Designer and Owner may inspect trees and shrubs at place of growth or at site before and after planting for grade, species, variety, size and quality. The Landscape Designer and Owner retain the right to further inspect trees and shrubs for size and condition of balls and root systems, insects, injuries and latent defects, and to reject unsatisfactory or defective material at any time during progress of work. Rejected plant materials shall be immediately removed from the project site.
- 2.03 PROTECTION OF PLANT MATERIALS: Balls and burlapped plants (B & B) shall be dug with firm natural balls of soil of sufficient diameter and depth to enclose the fibrous and feeding root system necessary for full recovery after transplanting. Balls shall be firmly wrapped with burlap similar material and bound with cord, rope, or wire mesh. All collected plants shall be balled and burlapped.
- 2.04 STORAGE: All plant material shall be stored on the site in designated areas, specified by the Landscape Designer or Owner's agent.
- 2.05 PROTECTION DURING PLANTING: Trees moved by winch or crane shall be thoroughly protected from chafe marks, girdling or bark damage by means of burlap, wood batten or other approved methods. Batters shall NOT be attached to the tree with nails.

- 2.06 PLANTING SOIL: Planting soil for all plantings shall consist of existing native soil and shall be free of debris, roots, clay stones, plants or other foreign materials which might be a hindrance to planting operations or be detrimental to good growth.
- 2.07 FERTILIZER: Commercial fertilizer shall comply with the state fertilizer laws. Nitrogen shall not be less than 40% and phosphorus shall not be less than 15%. Inorganic chemical nitrogen shall not be derived from the sodium form of nitrate. Fertilizer shall be chemical to the site in unopened original containers, each bearing the manufacturer's guaranteed analysis. Any fertilizer that becomes caked or otherwise damaged shall be rejected.
- 2.08 MULCH: Large tubs, wire baskets, grow bags, and balled and burlapped material shall have 1 tablet for each 1/2 inch of trunk diameter (measured 3 feet from ground) or for each foot of height or spread of larger shrub material the Landscape Designer reserves the right to inspect and revise the application of fertilizer.

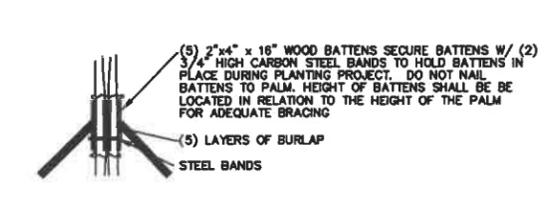
- 2.09 MULCH: Mulch material shall be clean, dry Eucalyptus or Melaleuca mulch free of weeds, seeds and pests, maintained at the time of application to prevent wind displacement.
- 2.10 BRACING: All trees and shrub beds shall receive 5" of pine straw mulch immediately after planting and thoroughly watered.
- 2.11 EXECUTION: The Landscape Contractor shall exercise care in digging and other work so as not to damage existing work, including overhead wires, underground pipes and cables and the pipe and hydrants of existing systems. Should such overhead or underground obstructions be encountered which interfere with planting, the Contractor shall be consulted and shall indicate the location of plants to clear such obstruction. The Contractor shall be responsible for the immediate repair of any damage caused by his work.
- 2.12 BRACING: The Contractor shall excavate the location of all utilities and easements so proper precautions can be taken not to damage or encroach them.
- 2.13 PLANTING: Planting shall take place during favorable weather conditions.
- 2.14 BRACING: The Contractor shall ascertain the location of all utilities and easements so proper precautions can be taken not to damage or encroach them.
- 2.15 BRACING: Planting shall be located where it is shown on the plan. No planting holes shall be dug until the proposed locations have been staked on the ground by the Contractor.
- 2.16 BRACING: Excavation of holes shall extend to the required subgrade as specified on the planting diagrams located in the planting plans. Plant pits shall be circular in outline and shall have a profile which conforms to the dimensions of "Tree and Shrub Planting Diagrams".
- 2.17 BRACING: A representative number of planting pits (a minimum of one in every 25 feet throughout the entire site) shall be tested for proper drainage. See Landscape Plan for complete testing methods and requirements.
- 2.18 BRACING: Planting pits shall be constructed to the following dimensions and refilled with a mixture of planting soil (half (1/2) mulch, half (1/2) existing native soil):
 - 1. Ball material (12" dia. x 12" x 12" min.)
 - 2. 3 gallon material (12" dia. x 20" x 18" min.)
 - 3. 7 gallon material (16" dia. x 30" x 24" min.)
 Field ground material and trees: 1-1/2 times width of ball and depth of ball plus 12" min.
- 2.19 BRACING: No planting or laying of sod shall be initiated until the soil has been cleaned of existing sod or other plant materials, rough grass, weeds, debris, stones etc. and the ground has been brought to an even grade, approved by the Landscape Designer.
- 2.20 BRACING: Each plant shall be planted in an individual hole as specified for trees, shrubs, and vines.
- 2.21 BRACING: All plants shall be set to ultimate finished grade. No filling will be permitted around trunks or stems. All ropes, wire, stakes, etc., shall be removed from sides and top of the ball and removed from hole before filling in.
- 2.22 BRACING: All flagging ribbon shall be removed from trees and shrubs before planting.
- 2.23 BRACING: Excess excavation (fill) from all holes shall be removed from the site, at no additional expense to Owner.
- 2.24 BRACING: All palms shall be planted in sand, thoroughly washed in during planting operations and with a shallow square depression left of the soil line for future watering. Sucker areas shall be top-dressed two (2") inches deep with topsoil and left in a neat, clean manner.
- 2.25 BRACING: Pruning: Remove dead and broken branches from all plant material. Prune to retain typical growth habit of individual plants with as much height and spread as possible in a manner which will preserve the plant's natural character.
- 2.26 BRACING: Make all cuts with sharp instruments flush with trunk or adjacent branch, in such a manner as to insure elimination of stubs. Cuts made at right angle to line of growth will not be permitted.
- 2.27 BRACING: Trees shall not be poled or topped.
- 2.28 BRACING: Remove all trimmings from site.
- 2.29 BRACING: Paint all cuts one-half (1/2) in diameter and larger, with waterproof antiseptic tree paint.

- 2.30 GUYING: All trees over six (6') feet in height shall, immediately after setting to proper grade, be guyed with three sets of two strands, No. 12 gauge malleable galvanized iron, in tripod fashion.
- 2.31 BRACING: Wires shall not come in direct contact with the tree but shall be covered with rubber hose at contact points. Wires shall be fastened in such a manner as to avoid pulling grooves apart.
- 2.32 BRACING: Stakes shall be 2" x 2" lumber of sufficient length to satisfactorily support each tree.
- 2.33 BRACING: Turnbuckles for guying trees shall be galvanized or cadmium plated and shall be of adequate size and strength to properly maintain tight guy wires.
- 2.34 BRACING: WATER: Each plant or tree shall be thoroughly watered in after planting. Watering of all newly installed plant materials shall be the responsibility of the Landscape Contractor until final acceptance by the Landscape Designer.
- 2.35 BRACING: All trees shall be deep watered for a period of ninety (90) days after planting.
- 2.36 BRACING: Consult City or County staff for water source.
- 2.37 BRACING: Landscape Contractor is responsible for design and installation of irrigation to provide for 100% coverage of all proposed planting material.
- 2.38 BRACING: Irrigation shall conform to all applicable local and state laws.
- 2.39 BRACING: Irrigation to be installed according to the preferred watering method as shown on planting details.
- 2.40 BRACING: All rotors, bubblers, and spray heads to be mounted in a fashion as to not over-spray any adjacent walks, drives, furnishings, and structures.
- 2.41 BRACING: Landscape Contractor to provide one original & one digital (Autocad 2006 Format) Irrigation As-Built Drawings three days prior to final inspection.
- 2.42 BRACING: SOIL: The Landscape Contractor shall submit a unit price per cubic yard for the supply and distribution of planting soil (mulch) to be applied to a depth of one inch (1"), to all areas requiring soil.
- 2.43 BRACING: The Landscape Contractor shall sod all areas indicated on the drawings.
- 2.44 BRACING: It shall be the responsibility of the Landscape Contractor to fine grade all landscape areas, eliminating all bumps, depressions, ruts, ripples, and other debris.
- 2.45 BRACING: The sod shall be firm, tough texture, having a compacted growth of grass with good root development. It shall contain no noxious weeds or any other objectionable vegetation, fungus, insects, or diseases. The soil embedded in the sod shall be good clean earth, free from stones and debris.
- 2.46 BRACING: Before being cut and filled, the sod shall have been mowed at least three times with a lawn mower, with the final mowing not more than seven days before the sod is cut. The sod shall be carefully cut into uniform dimensions.
- 2.47 BRACING: 6-8-8 fertilizer with all trace elements to be applied at the rate of 40 lbs. per 1,000 sq. ft. prior to laying sod.
- 2.48 BRACING: Solid sod shall be laid with closely abutting joints with a tamped or rolled, even surface.
- 2.49 BRACING: The finished level of all sod areas after settlement shall be one (1") inch below the top of abutting curbs, walks, paving and wood borders to allow for building turf.
- 2.50 BRACING: If in the opinion of the Landscape Designer, top dressing is necessary after rolling, clean yellow sand will be evenly applied over the entire surface and thoroughly watered in.
- 2.51 BRACING: SEEDING: The Landscape Contractor shall remove all vegetation and rocks larger than (1") in diameter from areas to be seeded, scarify the area, then apply fertilizer at a rate of 500 lbs. per acre.
- 2.52 BRACING: Application: Argentine Bahia Grass seed - 200 Pounds per acre mixed with common hulled Bermuda seed - 30 lbs. per acre. All other seed mixtures shall be applied per the manufacturer's instructions.
- 2.53 BRACING: Roll immediately after seeding with a minimum 500 pound roller, then apply straw mulch at the rate of 2,500 pounds per acre.
- 2.54 BRACING: Apply fertilizer at the rate of 150 lbs. per acre 45-60 days after seeding.

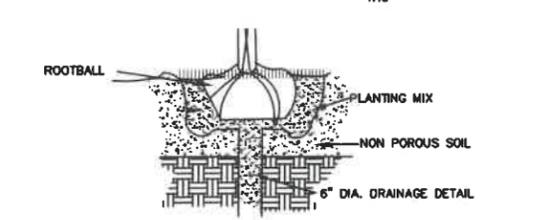
- 3.00 CLEANING UP: The contractor shall at all times keep the premises free from accumulations of waste materials or rubbish caused by his employees or work. He shall leave all paved areas "broom clean" when completed with his work.
- 3.01 MAINTENANCE: Maintenance shall begin immediately after each plant is installed and shall continue until all planting has been accepted by the Owner or Landscape Architect. Maintenance shall include watering, weeding, removal of dead material, reattaching plants to proper grade or upright positions, spraying, restoration of planting source and/or any other necessary operations.
- 3.02 BRACING: Prepare protection to lawn areas shall be provided and any damage resulting from planting operations shall be repaired promptly.
- 3.03 BRACING: Replacement of plants during the maintenance period shall be the responsibility of the Contractor, including vandalism or damage on the part of others, fighting, or hurricanes force winds, until final acceptance.
- 3.04 BRACING: In the event that weeds or other undesirable vegetation becomes prevalent, it shall be the Contractor's responsibility to remove them.
- 3.05 BRACING: Trees or other plant material which fall or are blown over during the maintenance period will be reset by the Contractor at no additional expense to the Owner, the only exception being hurricanes force winds.
- 3.06 BRACING: COMPLETION, INSPECTION AND ACCEPTANCE: Completion of the work shall mean the full and exact compliance and conformity with the provisions expressed or implied in the drawings and in these Specifications, including the complete removal of all trash, debris, soil or other waste created by the Landscape Contractor.
- 3.07 BRACING: Inspection of work to determine completion of contract, exclusive of the possible replacement of plants, will be made by the Owner and/or Landscape Designer at the conclusion of all planting and at the request of the Landscape Contractor.
- 3.08 BRACING: All plant material shall be alive and in good growing condition for each specified kind of plant at the time of acceptance. The rating of each plant according to Florida Grades and Standards shall be equal to or better than that called for on the plans and in these Specifications at the time of final inspection and acceptance.
- 3.09 BRACING: After inspection, the Landscape Contractor will be notified by the Owner of the acceptance of all plant material and workmanship, exclusive of the possible replacement of plants subject to guarantee.

DRAINAGE TESTING/DRAINAGE CHANNEL REQUIREMENTS

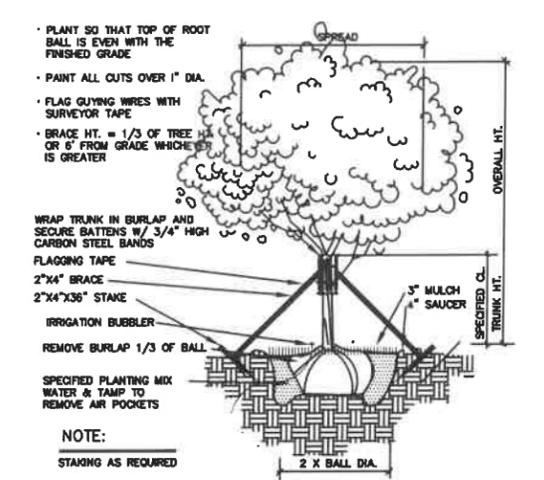
- 3.10 BRACING: Prior to planting, all planting pits selected for testing shall be treated in the following manner:
 - A. Dig each planting pit to the minimum specified size.
 - B. Fill planting pit with loose inches (12") of water. If the water level drops four inches (4") or more within four (4) hours, the drainage is sufficient and a drainage channel is not required. If the water level drops less than four inches (4") within the four (4) hour period, a channel is required.
 - C. Where required, the drainage channel must extend down through the non porous soil and into porous soil. (See Detail)
 - D. All material removed from the drainage channel shall be discarded.
 - E. When backfilling planting pits with planting mixture, care must be taken to keep the consistency of the soil mix the same throughout the planting pit and drainage channel.



BRACING DETAIL
N.T.S.



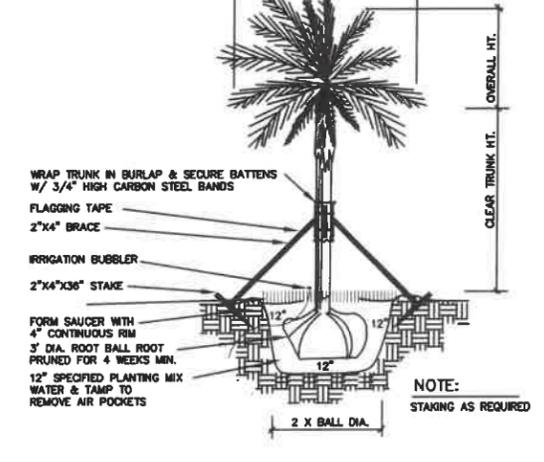
DRAINAGE TESTING DETAIL
N.T.S.



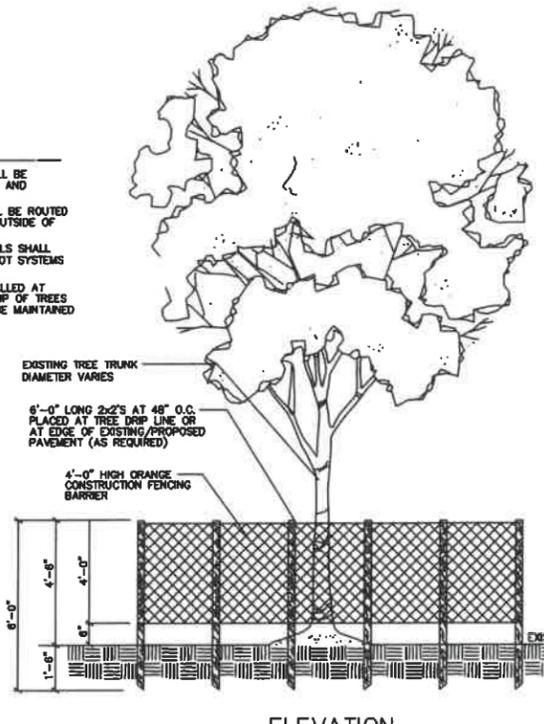
TREE STAKING - ANGLE STAKES
N.T.S.



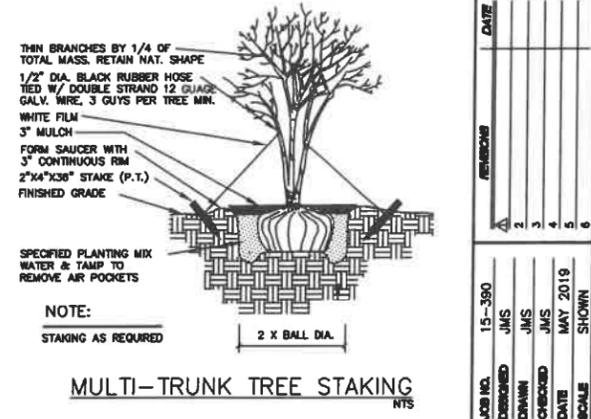
TREE STAKING - ANGLE STAKE
N.T.S.



PALM PLANTING - ANGLE STAKE
N.T.S.



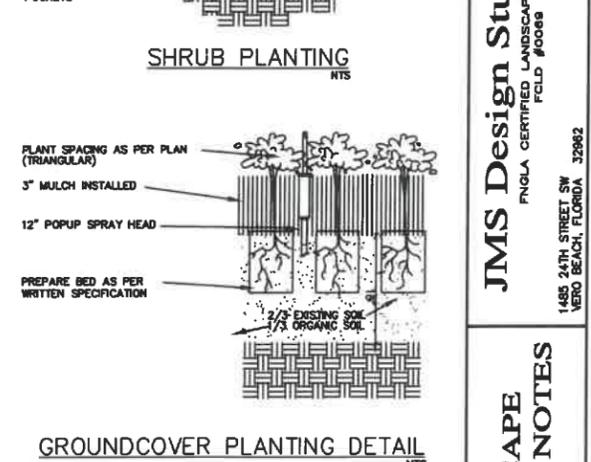
TREE PROTECTION BARRIER DETAIL
N.T.S.



SHRUB PLANTING
N.T.S.



GROUNDCOVER PLANTING DETAIL
N.T.S.



GROUNDCOVER PLANTING DETAIL
N.T.S.

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PFLA CERTIFIED LANDSCAPE DESIGNER
FLD # 9008

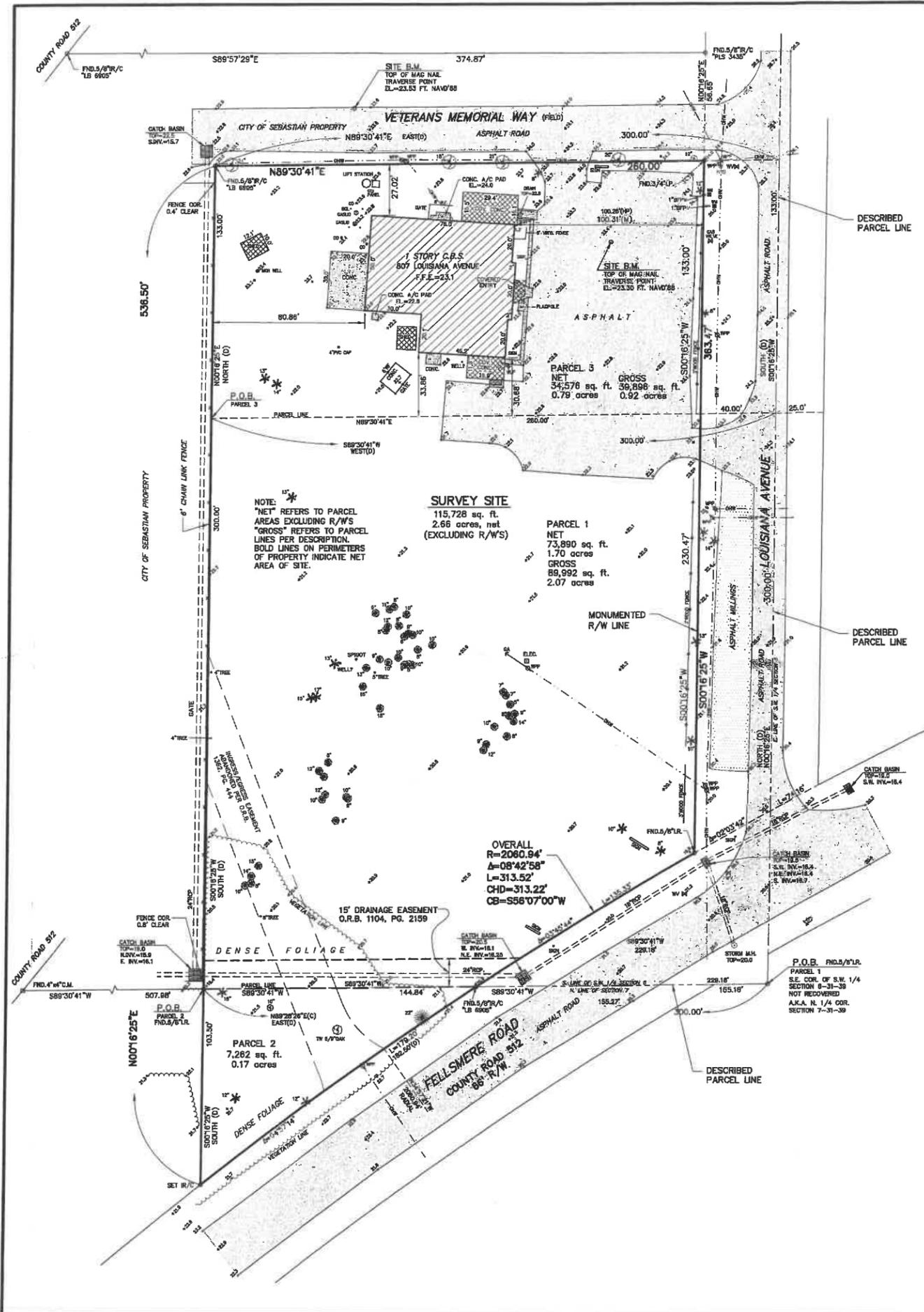
CFNGLA
CERTIFIED PROFESSIONAL DESIGNER #00069 exp. 2020

LS2

JUL 03 2020

15-390
JOB NO. DESIGNED JMS
DRAWN JMS
CHECKED JMS
DATE MAY 2019
SCALE SHOWN

1485 24TH STREET SW
VERO BEACH, FLORIDA 32962
CELL (772) 532-6864
jms@jmsdesign.com



LEGEND

O.R.B.=OFFICIAL RECORDS BOOK
 NAVD '88=NORTH AMERICAN VERTICAL DATUM OF 1988
 B.M.=ELEVATION BENCHMARK
 SET IR/C=SET 5/8" DIAMETER IRON ROD W/CAP STAMPED "W&Z-LB 6840"
 C.B.S.=CONCRETE BLOCK STRUCTURE
 A^S=EXISTING SPOT ELEVATION
 BFPV=BACKFLOW VALVE
 F.F.E.=FINISH FLOOR ELEVATION
 RCP=REINFORCED CONCRETE PIPE
 IR/C= IRON ROD WITH CAP
 I.P.=IRON PIPE, NO I.D.
 I.R.=IRON ROD, NO I.D.
 MAG=MAGNETIC
 A/C=AIR CONDITIONING
 R/W=RIGHT OF WAY
 R=RAADIUS
 L=ARC LENGTH
 CHD=CHORD
 CB=CHORD BEARING
 C=CENTERLINE
 EL.=ELEVATION
 OHW=OVERHEAD WIRES
 W.F.=WOOD FENCE
 CONC.=CONCRETE
 COV.=COVERED
 (M)=MEASURED
 (C)=CALCULATED
 (P)=PLAT
 COR.=CORNER
 FND.=FOUND
 FND.=FOUND

SYMBOLS

- CPP [Symbol] = CONCRETE POWER POLE
- M.L.P. [Symbol] = METAL LIGHT POLE
- W.L.P. [Symbol] = WOODEN LIGHT POLE
- W.P.P. [Symbol] = WOODEN POWER POLE
- WM [Symbol] = WATER METER
- WV [Symbol] = WATER VALVE
- HYD [Symbol] = FIRE HYDRANT
- SV [Symbol] = SEWER VALVE
- ELEC. [Symbol] = ELECTRIC RISER BOX
- CATV [Symbol] = CABLE TV RISER BOX
- TELO [Symbol] = TELEPHONE RISER BOX
- SAN. M.H. [Symbol] = SANITARY MANHOLE
- STORM M.H. [Symbol] = STORM MANHOLE
- GA [Symbol] = GUY ANCHOR
- [Symbol] SHADED AREAS INDICATE ASPHALT SURFACE
- 12" [Symbol] = PINE TREE W/DIAMETER
- 12" [Symbol] = PALM TREE W/DIAMETER
- 20" [Symbol] = OAK TREE W/DIAMETER

DESCRIPTION OF SURVEY SITE

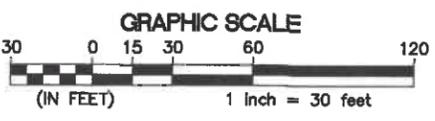
DESCRIPTION AS PROVIDED BY CLIENT

PARCEL 1:
 Beginning at an iron pipe at the Southeast corner of the Southwest quarter of Section 6, Township 31 South, Range 39 East, thence run North along the East line of said Southwest 1/4 a distance of 300 feet; thence run West a distance of 300 feet; thence run South a distance of 300 feet; thence run East a distance of 300 feet to the Point of Beginning.

PARCEL 2:
 Beginning at a point 300 feet West of an iron pipe at the Southeast corner of the Southwest quarter of Section 6, Township 31 South, Range 39 East, running South 103 feet 6 inches (103.50 feet); thence running Northeast along the North side of Fellsmere Road 182 feet 6 inches (182.50 feet); thence running West to the Point of Beginning.

PARCEL 3:
 Beginning at an iron pipe which is the present Northeast corner of American Legion property being in the SE 1/4 of the SW 1/4 of Section 6, Township 31 South, Range 39 East, run North 133 feet; thence West 300 feet; thence South 133 feet to the NW corner of American Legion property thence East 300 feet to the Point of Beginning.

NOTE: PARCELS 1 AND 3 ARE SUBJECT TO RIGHT OF WAY OVER THE EAST 40 FEET THEREOF FOR LOUISIANA AVENUE AND PARCEL 1 IS ALSO SUBJECT TO RIGHT OF WAY OVER THE SOUTHEAST PORTION THEREOF AS SHOWN FOR COUNTY ROAD 512 WHICH IS APPARENT BUT NOT EXCEPTED IN THE LEGAL DESCRIPTION PROVIDED.



Notes:

1. This survey does not reflect or determine ownership.
2. Lands shown hereon were not abstracted for rights-of-way or easements of record. This survey was performed without the benefit of a title search.
3. Reproductions of this drawing are not valid without the signature and original raised seal of a Florida licensed Surveyor and Mapper.
4. Survey site lies in Flood Zone "X" per Flood Insurance Rate Map no. 12061C0111H, dated December 4, 2012.
5. Subsurface utilities and improvements were not located as a part of this survey.
6. All boundary measurements equal record dimensions unless otherwise noted.
7. Elevations shown hereon are in feet, referenced to NAVD'88, based on Indian River County Benchmark "BM005054", having a published elevation of 30.09 ft. NAVD'88.
8. Bearings shown hereon are referenced to a previous survey of this site by Houston-Price, dated 6/7/2000, as provided by the client, holding the West r/w line of Louisiana Avenue as bearing S00°16'25"W from iron pipe at NE corner and iron rod at SE corner.

RECEIVED
 JUL 06 2020
 City of Sebastian
 Community Development Dept.

SURVEYORS SIGNATURE & SEAL
 NOTE: THIS SURVEY IS CERTIFIED AS TO THE DATE OF THE FIELD SURVEY, NOT THE SIGNATURE DATE.
 WILLIAM B. ZENTZ, P.L.S.
 REGISTERED LAND SURVEYOR, No. 6379
 STATE OF FLORIDA
 11/8/19
 DATE

William B. Zentz & Associates, Inc.
 Professional Surveying & Mapping
 CERTIFICATE OF AUTHORIZATION (LB) No. 6840
 684 Old Dade Highway
 Vero Beach, FL 32962
 Phone: (772) 567-7552
 Fax: (772) 567-1751

| DATE | REVISION |
|---------|---------------|
| 11/8/19 | CITY COMMENTS |
| | |
| | |
| | |
| | |

Map Of Survey
 Boundary & Topographic Survey
 For American Legion
 807 Louisiana Ave., Sebastian, 32958
 Indian River County, Fl

| | | | | |
|----------|-------------------|-----------------|---------|-------|
| DRAWN BY | FIELD BOOK / PAGE | LAST FIELD DATE | Job No. | SHEET |
| W.B.Z. | WZ 41/4 | 1/3/18 | 106-085 | 1 |

6TH ED. FL. BLDG. CODE & 2017 FL. FIRE PREVENTION OCCUPANCY ANALYSIS
 BUILDING OCCUPANT LOAD (F.B.C. TABLE 1004.11 & NFPA 101 TABLE 7.3.1.2)

A-3 AREA (CLIDGE-NORTH SIDE OF BUILDING)

NOTE: NFPA 101 GOVERNS BECAUSE KITCHEN AREA IS 1 PERSON PER 100 SF WHERE FL. BLDG. CODE REQUIRES 1 PERSON PER 200 SF

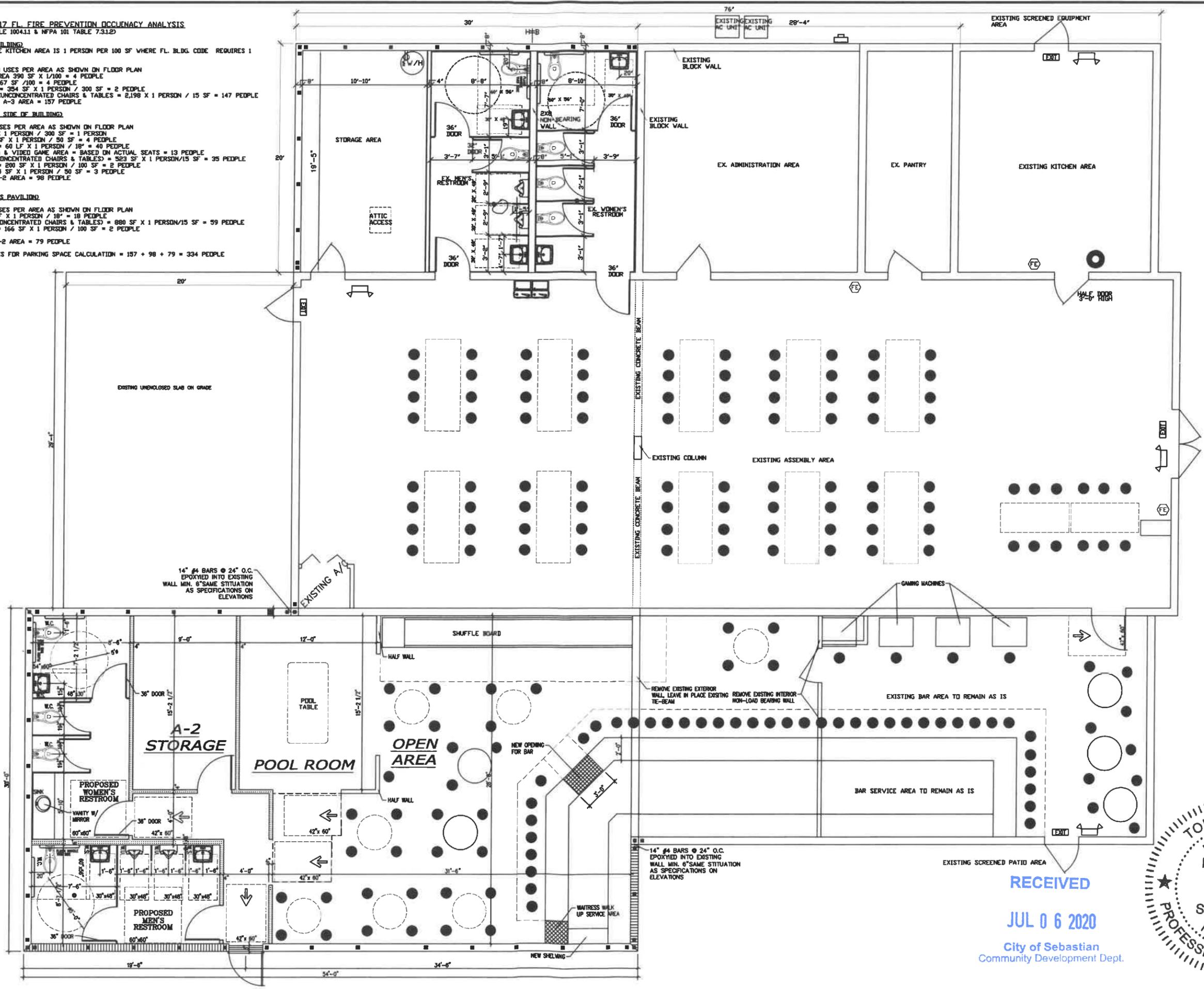
- A. BUILDING IS BROKEN DOWN INTO USES PER AREA AS SHOWN ON FLOOR PLAN
1. ADMINISTRATIVE STAFF AREA 390 SF X 1/100 = 4 PEOPLE
 2. KITCHEN (367 SQ FT) = 367 SF / 100 = 4 PEOPLE
 3. STORAGE & PANTRY ROOM = 354 SF X 1 PERSON / 300 SF = 2 PEOPLE
 4. ASSEMBLY (DINING) AREA (UNCONCENTRATED CHAIRS & TABLES) = 2,198 X 1 PERSON / 15 SF = 147 PEOPLE
- B. SUB-TOTAL OCCUPANT LOAD FOR A-3 AREA = 157 PEOPLE

A-2 AREA (DRINKING FACILITY-SOUTH SIDE OF BUILDING)

- A. BUILDING IS BROKEN DOWN INTO USES PER AREA AS SHOWN ON FLOOR PLAN
1. STORAGE ROOM = 137 SF X 1 PERSON / 300 SF = 1 PERSON
 2. POOL TABLE ROOM = 100 SF X 1 PERSON / 50 SF = 2 PEOPLE
 3. DRINKING COUNTER (BAR) = 60 LF X 1 PERSON / 18" = 40 PEOPLE
 4. EAST FRONT SITTING AREA & VIDEO GAME AREA = BASED ON ACTUAL SEATS = 13 PEOPLE
 5. MAIN ASSEMBLY AREA (UNCONCENTRATED CHAIRS & TABLES) = 523 SF X 1 PERSON / 15 SF = 35 PEOPLE
 6. STAFF AREA BEHIND BAR = 200 SF X 1 PERSON / 100 SF = 2 PEOPLE
 7. SHUFFLEBOARD AREA = 143 SF X 1 PERSON / 100 SF = 3 PEOPLE
- B. SUB-TOTAL OCCUPANT LOAD FOR A-2 AREA = 98 PEOPLE

A-2 AREA (DETACHED SPECIAL EVENTS PAVILION)

- A. BUILDING IS BROKEN DOWN INTO USES PER AREA AS SHOWN ON FLOOR PLAN
1. DRINKING COUNTER = 27 LF X 1 PERSON / 18" = 18 PEOPLE
 2. MAIN ASSEMBLY AREA (UNCONCENTRATED CHAIRS & TABLES) = 880 SF X 1 PERSON / 15 SF = 59 PEOPLE
 3. STAFF AREA BEHIND BAR = 166 SF X 1 PERSON / 100 SF = 2 PEOPLE
- B. SUB-TOTAL OCCUPANT LOAD FOR A-2 AREA = 79 PEOPLE
- TOTAL OCCUPANCY OF ALL STRUCTURES FOR PARKING SPACE CALCULATION = 157 + 98 + 79 = 334 PEOPLE



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| DATE | DATE | DATE | DATE | DATE |
| NOV. 17 |
| SCALE AS NOTED |
| SHEET | SHEET | SHEET | SHEET | SHEET |
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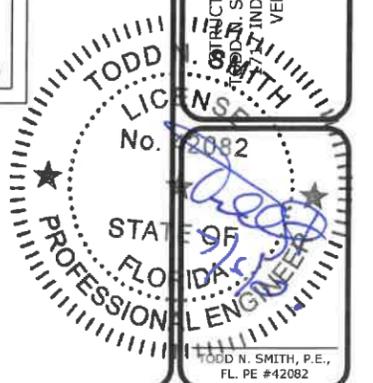
DIMENSION PLAN

AMERICAN LEGION
 POST #189
 907 LOUISIANA AVENUE,
 SEBASTIAN FL. 32958

CENTERLINE DRAFTING
 DEREK PEOUTZ
 404 LAUREL ST.
 SATELLITE BEACH FL., 32937
 Ph. (772) 538-0210

STRUCTURALLY ENGINEERED BY:
 TODD N. SMITH, P.E., INC. (CA #8772)
 101 INDIAN RIVER BLVD. UNIT 302
 VERO BEACH, FL. 32960
 772-559-3699
 FL PE #42082

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 Community Development Dept.



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| DESIGNED | DSP |
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| SHEET | 1 |

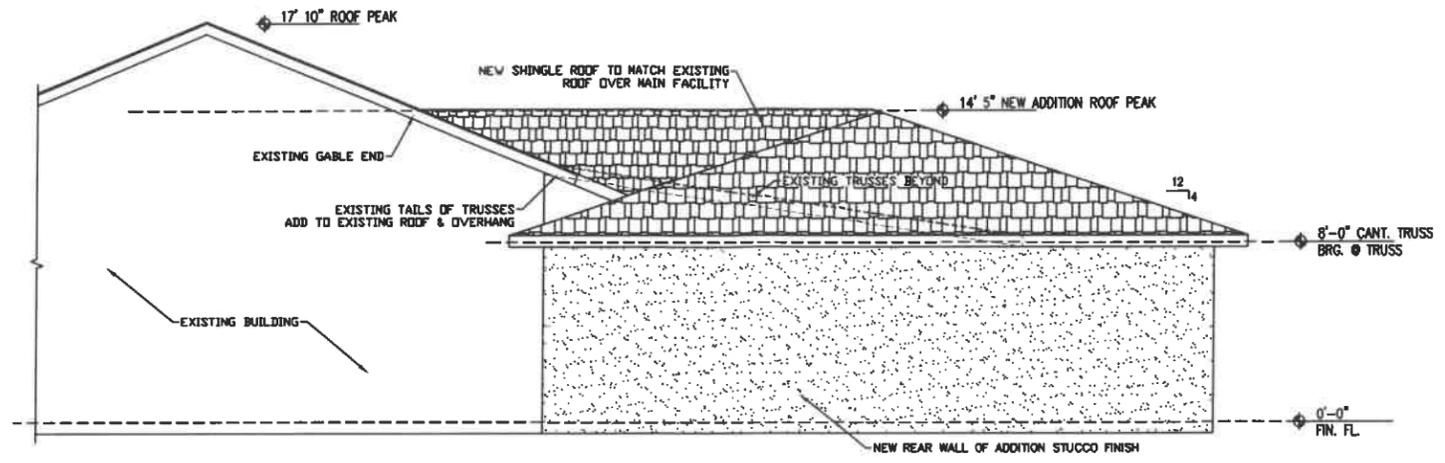
ELEVATION
PLAN

AMERICAN LEGION
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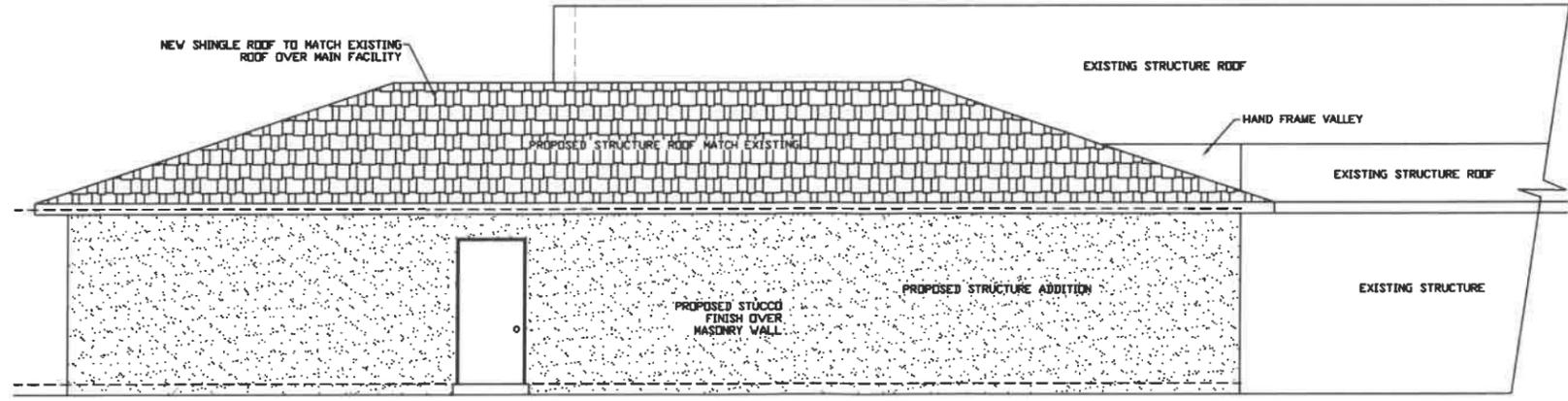
STRUCTURALLY ENGINEERED BY:
TODD N. SMITH, P.E., INC. (CA #8772)
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772-559-3699
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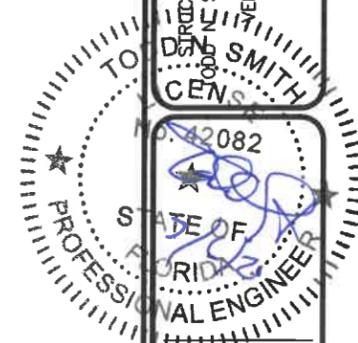
REAR ELEVATION

SCALE: 1/4" = 1'-0"



RIGHT ELEVATION

SCALE: 1/4" = 1'-0"



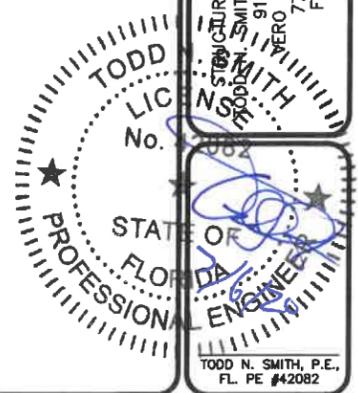
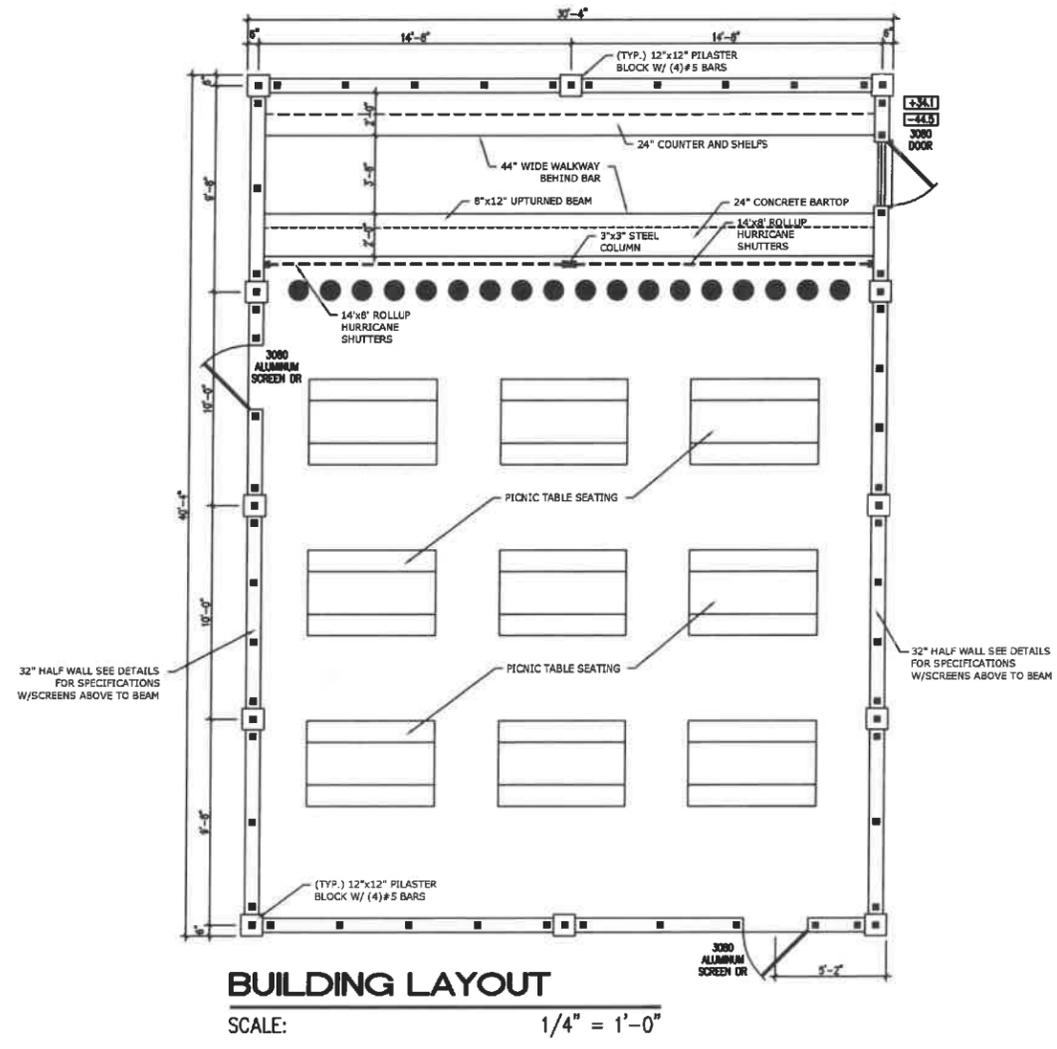
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| DESIGNED | DSP |
| CHECKED | TNS |
| DATE | NOV. 17 |
| SHEET | 2 |

**DIMENSION
PLAN**

**AMERICAN LEGION
POST #189
907 LOUISIANA AVENUE,
SEBASTIAN FL. 32958**

CENTERLINE DRAFTING
DEREK PFOUITZ
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772-559-3699
FL PE #42082



TODD N. SMITH, P.E.,
FL PE #42082

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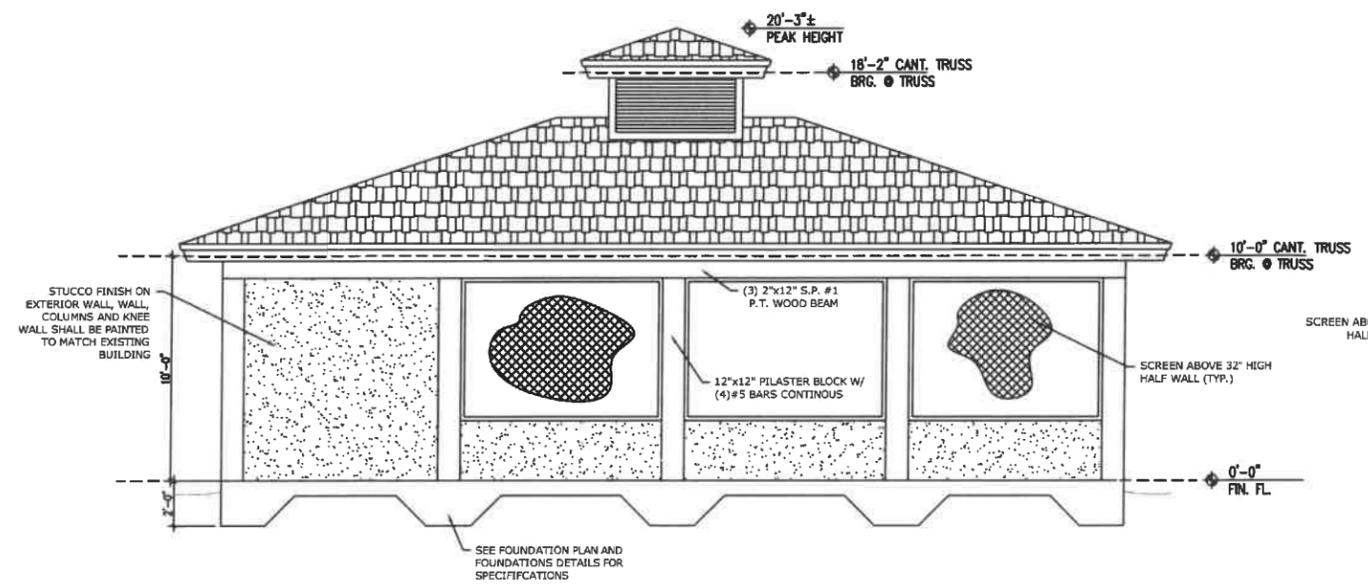
ELEVATION PLAN

AMERICAN LEGION
POST #189
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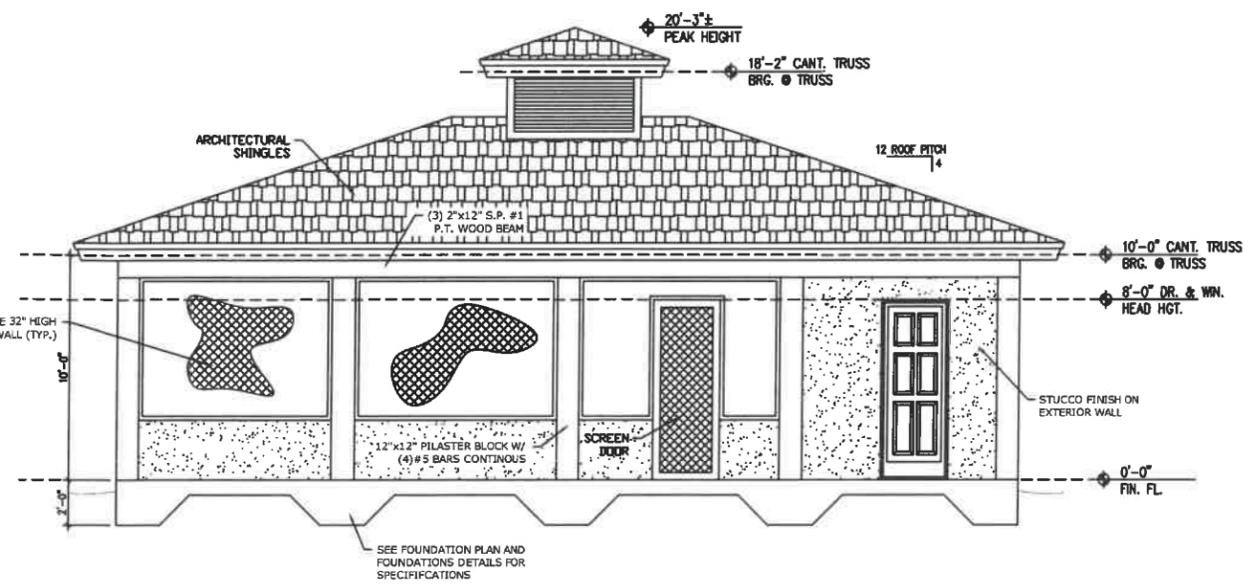
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TODD N. SMITH, P.E.,
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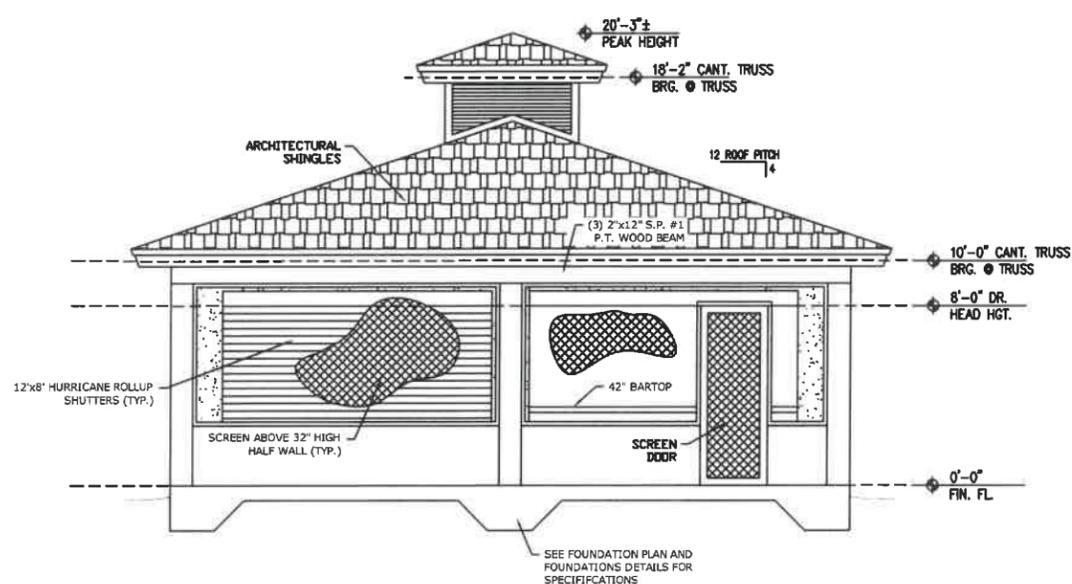
SOUTH ELEVATION

SCALE: $1/4" = 1'-0"$



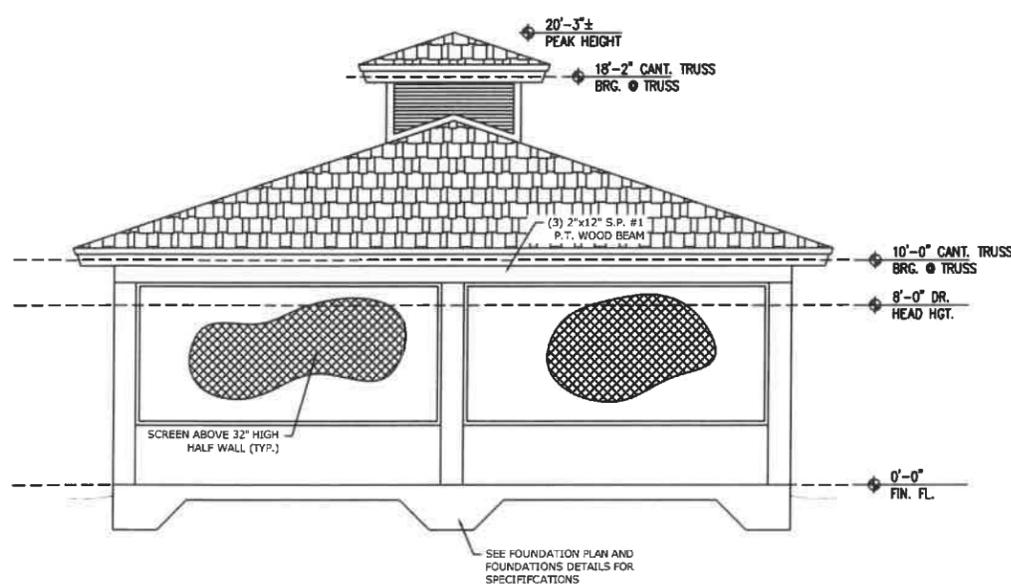
NORTH ELEVATION

SCALE: $1/4" = 1'-0"$



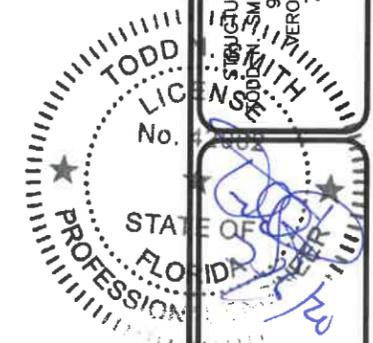
EAST ELEVATION

SCALE: $1/4" = 1'-0"$



WEST ELEVATION

SCALE: $1/4" = 1'-0"$



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| DATE | TNS |
| SCALE | ONE NOV. 17 |
| SHEET | SCALE AS NOTED |
| | 1 |
| | 18-815 |

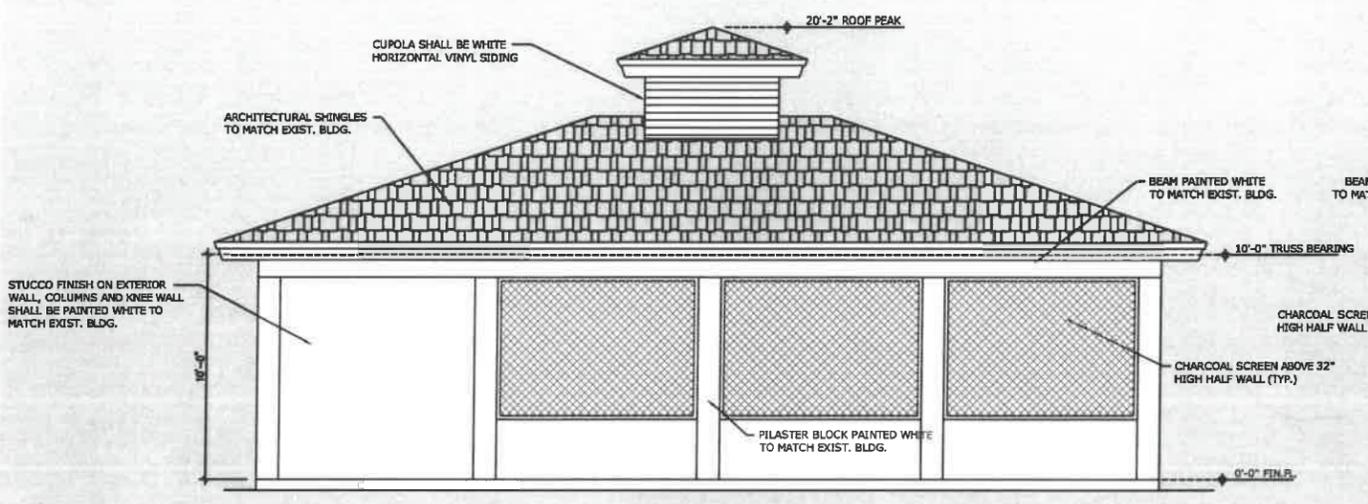
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STRUCTURALLY ENGINEERED BY:
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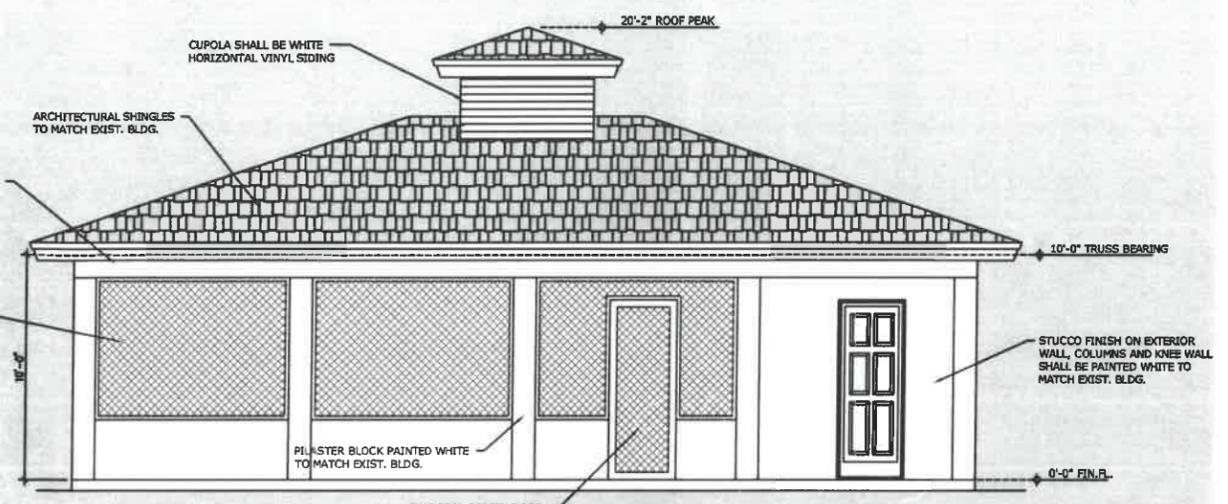
TODD N. SMITH, P.E.,
FL PE #42082



SOUTH ELEVATION

SCALE:

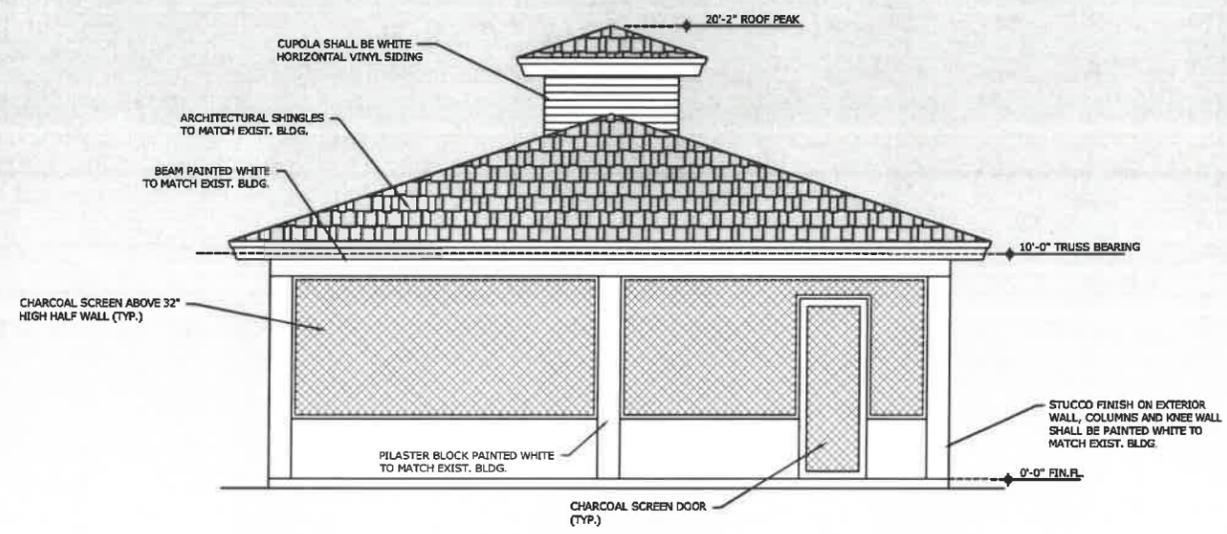
1/4" = 1'-0"



NORTH ELEVATION

SCALE:

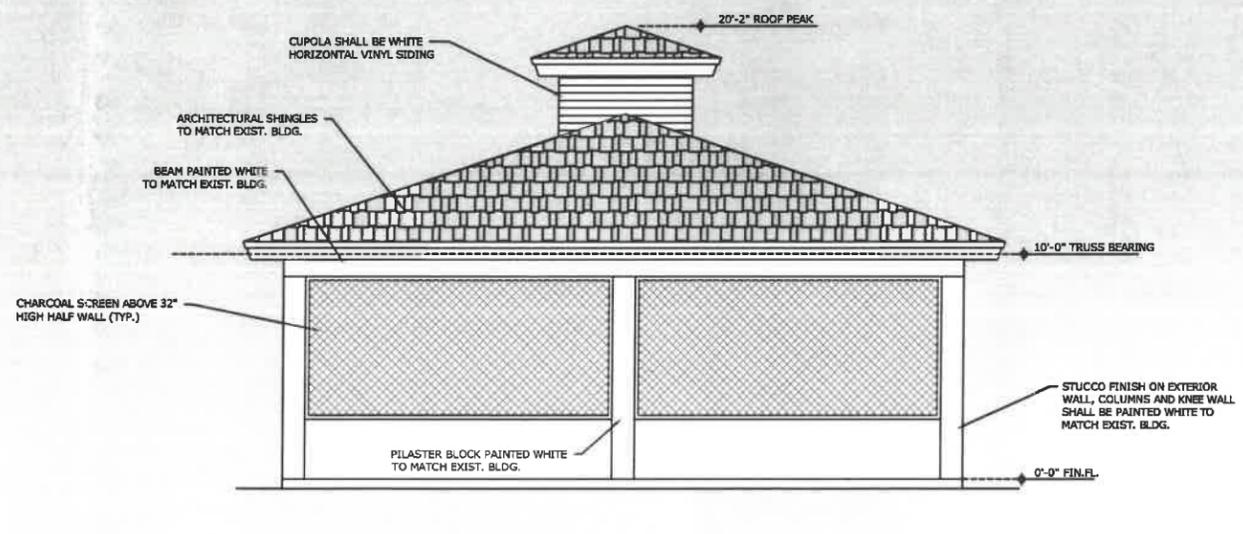
1/4" = 1'-0"



EAST ELEVATION

SCALE:

1/4" = 1'-0"



WEST ELEVATION

SCALE:

1/4" = 1'-0"

RECEIVED

JUL 06 2020

City of Sebastian
Community Development Dept

| | |
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| DESIGNED | DSP |
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| SCALE | AS NOTED |
| SHEET | 1 |

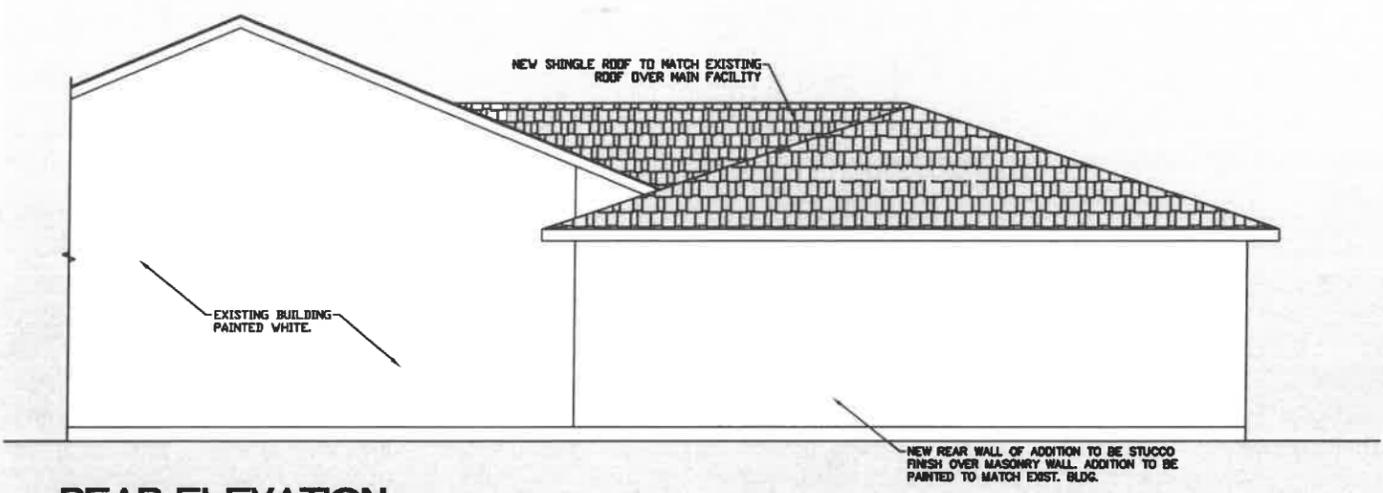
**ELEVATION
PLAN**

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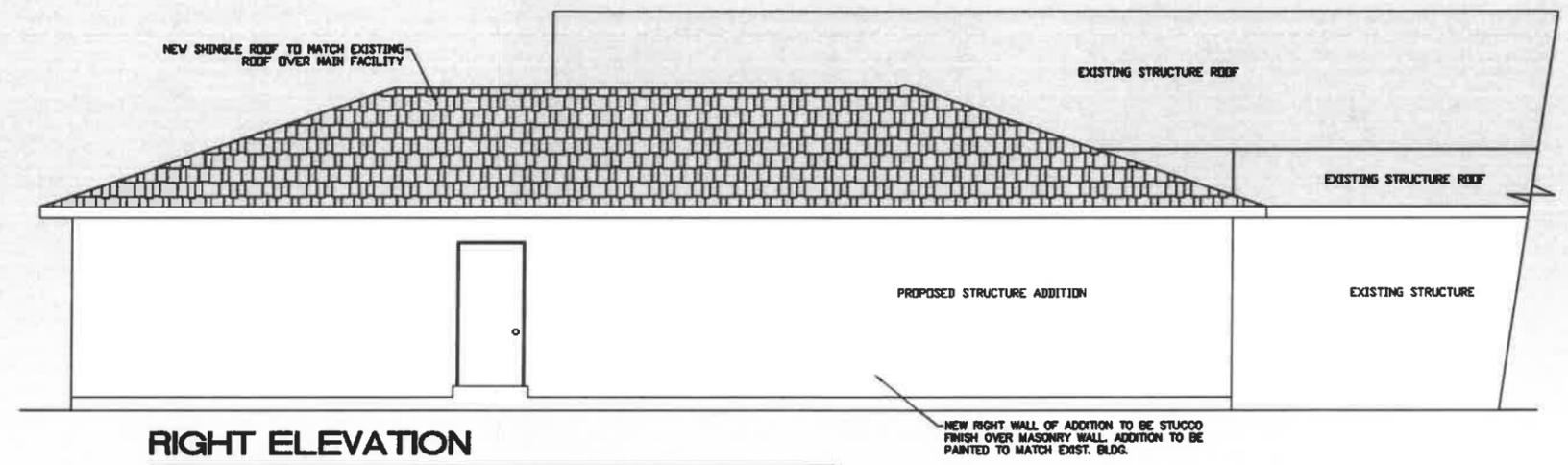
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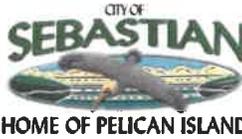
REAR ELEVATION

SCALE: $1/4" = 1'-0"$



RIGHT ELEVATION

SCALE: $1/4" = 1'-0"$



**Community Development Department
Accessory Structure Staff Report**

- 1. **Property Owner:** Mr. Albert Berry
- 2. **Contractor:** Slater Construction
- 3. **Requested Action:** Approval of a 24' x 24' detached garage
- 4. **Project Location:** 841 Dolores Street
Lots 3, Block 413, Sebastian Highlands Unit 9
- 5. **Current Zoning:** RS-10 **Current Land Use:** Single-family Residence
- 6. **Required Findings:**

| | Does Comply | Does Not Comply |
|--|-------------------|-----------------|
| <p>A. No accessory structure shall be constructed until the construction of the principal structure has been started.</p> <p>1. House completed <u>1960</u>; or house under construction _____.</p> <p>2. Accessory structure to be located on same lot as principal structure <u>X</u>; or located on second lot that has been combined with principal lot by a <u>unity of title</u>.</p> | <p>√</p> <p>√</p> | |
| <p>B. No accessory structure shall be located in any required yard (setback):</p> <p>1. Front yard: No detached accessory structure shall extend beyond the front building line of the principal structure that is located on the same real estate parcel or lot. Principal structure setback is <u>24.2'</u>. Accessory structure setback is <u>+/-115.0'</u>.</p> <p>2. Front yard on corner lot: Accessory structures may not be located in the secondary front yard of an improved corner lot unless the corner lot is joined in unity of title with an interior lot that contains the principle structure. However, said accessory structures shall not be located closer than 25 feet from the secondary front property line in the RS-10 zoning district, and in all other zoning districts shall meet required front yard setbacks. Secondary front yard setback is <u>N/A</u>, and proposed accessory structure front yard setback is _____.</p> | <p>√</p> <p>√</p> | |

| | Does Comply | Does Not Comply |
|--|--|---|
| <p>3. Side yard: Required side setback is <u>10'</u>. Accessory structure side setback is <u>22'</u>.</p> <p>4. Rear yard: The required rear yard is <u>20'</u>. A detached accessory structure <u>may encroach</u> into the required rear yard, provided it meets all the following:</p> <p>a. It is a minimum 10 feet from the rear property line. Proposed accessory structure has a <u>20'</u> setback.</p> <p>b. It is not in an easement. Rear easement is <u>10'</u> and proposed setback is <u>20'</u>.</p> <p>c. It does not exceed 400 square feet in lot coverage. Proposed accessory structure is <u>576</u> square feet.</p> <p>d. It does not exceed 12 feet in height. Proposed accessory structure is <u>17'</u> feet in height.</p> <p>Accessory structures which are attached, or do not meet the above four requirements must meet the standard rear setback which is <u>20'</u>. Proposed accessory setback is <u>20'</u>.</p> | <p>√</p> <p>√</p> <p>√</p> <p>√</p> <p></p> <p>√</p> | <p></p> <p></p> <p></p> <p>X</p> <p>X</p> <p></p> |
| C. No mobile home, travel trailer or any portion thereof, or motor vehicle shall be permitted as an accessory structure. | √ | |
| D. Applicant must expressly designate the type of the accessory structure (i.e. garage, shed, etc.) <u>Garage</u> . | √ | |
| E. Must comply with all city codes. | √ | |
| F. The height of accessory structure cannot exceed height of principal structure. House is approximately <u>+/-17'</u> , and accessory structure will be <u>17'</u> . | √ | |
| G. Attached or detached Quonset-type or style accessory structures are prohibited. | √ | |
| <p>H. A residential lot is allowed 5 square feet of accessory building area (cumulative) for every 100 square feet of lot area, up to a maximum 1000 square feet.</p> <p>Property square footage <u>15,954</u> x .05 = Allowable sq.ft. of accessory structures <u>797.70</u></p> <p>Existing accessory structures <u>0</u> Proposed accessory structure <u>576</u> Total existing and proposed <u>576</u></p> | √ | |

7. **Planning and Zoning Commission Review:**

Any attached or detached accessory building, carport or breezeway over 500 square feet in area must be reviewed and approved by the Planning and Zoning Commission utilizing the following criteria:

| | | Does Comply | Does Not Comply |
|----|---|-------------|-----------------|
| A. | Accessory structures may not be constructed or maintained from corrugated metal or corrugated metal-looking products. | √ | |
| B. | The roof of the accessory building must have a minimum pitch of 3:12. | √ | |
| C. | Accessory structures 501 sq.ft. to 750 sq.ft. in size shall be compatible with the overall general architectural design of the primary residence, including facade and materials, colors and trim, roofing materials and pitch. | √ | |
| D. | Accessory structures 751 sq.ft. to 1000 sq.ft. in size shall be of the same architectural design of the primary residence, including facade and materials, colors and trim, and roofing materials and pitch. Foundation plantings shall be required on all sides of the accessory structure excluding entranceways and doorways, as follows: 1 shrub for every 3 lineal feet and 24 inches in height at planting. <div style="text-align: right;"> Lineal dimension totals _____ ÷ 3 = Total Shrubs Required _____ </div> | N/A | |

Review fee has been paid: _____ YES NO

Additional Considerations:

It should be noted that the location of the proposed garage sits behind the existing home which renders it unseen from the street; the manner of construction appears to be similar to the existing home which has a painted decorative concrete block relief. Items that staff feels need to be addressed would be that the applicant needs to paint the proposed garage to match the existing home; it should also be noted that it appears that the proposed roof shingles match those found on the existing home, but this might be a condition that the Board should mandate. The Board needs to make a determination if the exterior finish of the detached garage needs to have a painted stucco finish, or may remain a painted concrete block wall finish similar to what is found on the existing home if the applicant desires; the applicant needs to clarify if a driveway will be built to access the garage, and acknowledge that the city has the right to remove the driveway if access to the easement was ever warranted.

The home was constructed in 1960, and no information regarding height exists in the Building Department file, but it appears to be approximately 17' high, which is the same height of the proposed garage. As the proposed structure is in the rear yard, it is unlikely that the garage will be

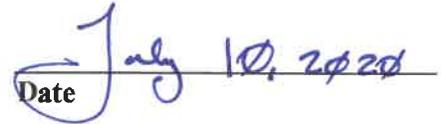
seen from the road. The roof pitch appears to be same or similar to that of the existing home, but no information regarding the actual roof pitch exists in the Building Department file.

The Board must decide if any deleterious effects exist with regard to the applicant's request, and make any necessary or additional recommendations.

Prepared by

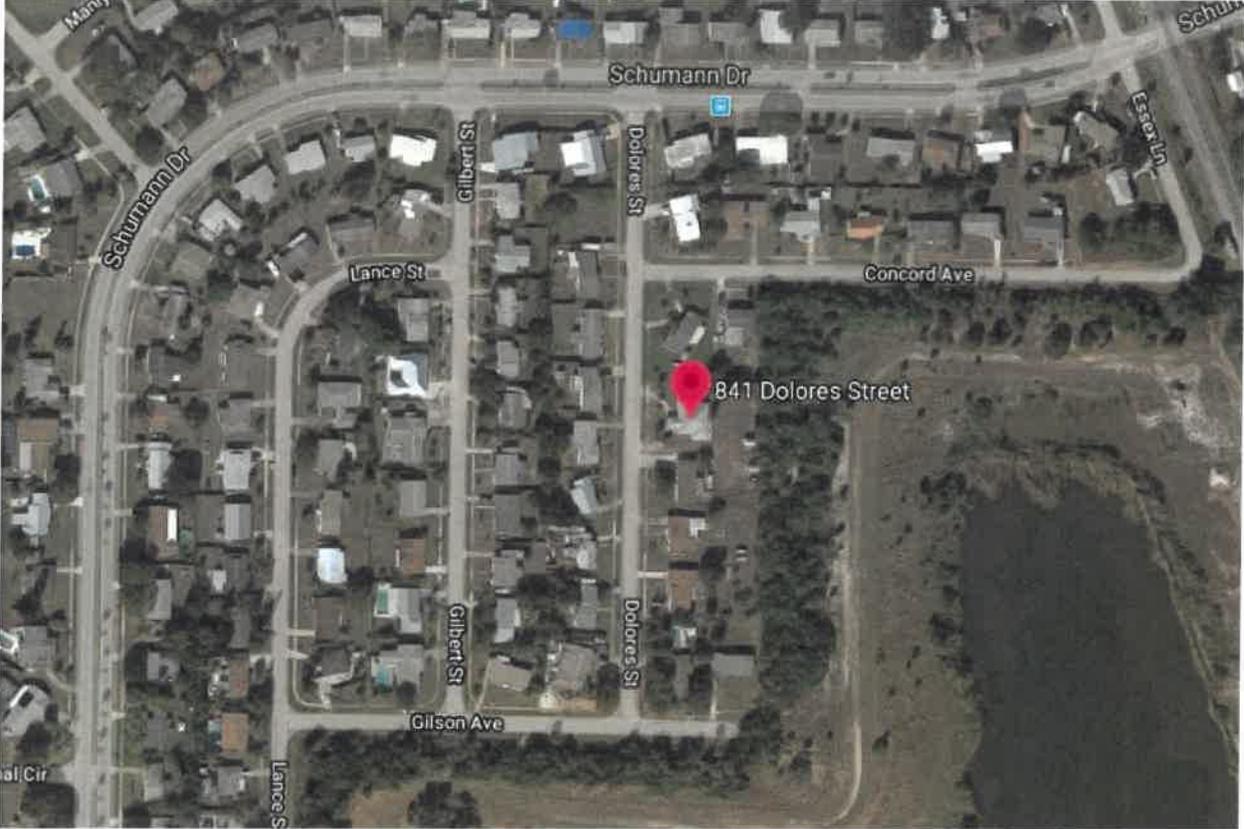


Date



MAP LOCATION:

841 DOLORES STREET





841 Dolores Street – Front Elevation



841 Dolores Street – Front Elevation

Note the exposed decorative block in relief on the main facade.



HOME OF PELICAN ISLAND
 BUILDING DEPARTMENT
 FIRE PREVENTION OFFICE
 1225 MAIN STREET • SEBASTIAN, FLORIDA 32958
 TELEPHONE: (772) 589-5537 FAX (772) 589-2566

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JUN 01 2020

City of Sebastian
 Community Development Dept.

PERMIT APPLICATION

ALL OF THE FOLLOWING MUST BE FILLED IN BY APPLICANT, ACCORDING TO FS 713.135

PERMIT # 20-1781

DATE: 5/20/2020 6/1/20

INDIAN RIVER COUNTY PARCEL ID # 313918000, 141300000 3.0 RECEIVED BY: [Signature]

LOT: 3 BLOCK: 413 SUBDIVISION: Sebastian Highlands FLOOD ZONE: _____

TYPE OF WORK: NEW STRUCTURE ADDITION ALTERATION REPAIR DEMOLITION OTHER

WORK INCLUDES: STRUCTURAL ELECTRICAL PLUMBING MECHANICAL ROOFING - SLOPE: _____

FIRE SYSTEM POOL ALUMINUM STRUCTURE SHED FENCE SLAB OR DECK OTHER

WORK DESCRIPTION: Construction of a 24 x 24 detached garage
concrete slab, walls, & shingle roof

ESTIMATED JOB VALUE: \$ 19,000⁰⁰ TOTAL S/F 567 UNDER AIR 0

JOB NAME: Evans Garage addition

JOB ADDRESS: 841 Dulores St SUITE/UNIT NO. _____

PROPERTY OWNER'S NAME: Albert Evans PHONE: _____

ADDRESS: 841 Dulores St

CITY/STATE: Sebastian FL 32958 ZIP CODE _____

CONTACT E-MAIL ADDRESS: _____

CONTRACTOR BUSINESS NAME: Slater Construction LICENSE #: C66526334

ADDRESS: 1853 Colson Cir CONTACT PHONE: 772-766-1442

CITY/STATE: Vero Beach FL 32961 ZIP CODE _____

CONTACT E-MAIL ADDRESS: info@slaterconstructionvb.com

ARCHITECT/ENGINEER: Janet Dunlap PHONE: 772-918-8044

ADDRESS: 9056 Englewood Ct

CITY/STATE: Vero Beach FL 32963 ZIP CODE _____

CONTACT E-MAIL ADDRESS: info@engineeringmytown.com

PRESENT USE: _____ PROPOSED USE: _____ OCCUPANT LOAD: _____

NUMBER OF: STORIES BAYS UNITS BEDROOMS HEIGHT _____

TYPE OF CONSTRUCTION: _____ GROUP OCCUPANCY: _____ AREA _____

IS THE BUILDING PRESENTLY EQUIPPED WITH AN AUTOMATIC FIRE SPRINKLER SYSTEM? YES NO

BONDING COMPANY: _____ ADDRESS: _____

MORTGAGE HOLDER: _____ ADDRESS: _____

APPLICATION IS HEREBY MADE TO OBTAIN A PERMIT TO DO THE WORK AND INSTALLATIONS AS INDICATED. I CERTIFY THAT NO WORK OR INSTALLATION HAS COMMENCED PRIOR TO THE ISSUANCE OF A PERMIT AND THAT ALL WORK WILL BE PERFORMED TO MEET THE STANDARDS OF ALL LAWS REGULATING CONSTRUCTION IN THIS JURISDICTION. I UNDERSTAND THAT A SEPARATE PERMIT MUST BE SECURED FOR ELECTRICAL WORK, PLUMBING, SIGNS, WELLS, POOLS, FURNACES, BOILERS, HEATERS, TANKS AND AIR CONDITIONERS, ETC.

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.

A CERTIFIED COPY OF THE RECORDED NOTICE OF COMMENCEMENT SIGNED BY THE OWNER, SHALL BE FILED WITH THE PERMITTING AUTHORITY IF THE VALUE IS \$2,500 OR MORE, EXCEPT HEATING OR AIR CONDITIONING CHANGE OUTS LESS THAT \$7,500.

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THE COUNTY, AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

ANY CHANGE IN BUILDING PLANS OR SPECIFICATIONS MUST BE RECORDED WITH THIS OFFICE. ANY WORK NOT COVERED ABOVE MUST HAVE A VALID PERMIT PRIOR TO STARTING. IN CONSIDERATION OF GRANTS, THIS PERMIT, THE OWNER, AND THE BUILDING CONTRACTOR AGREE TO ERECT THIS STRUCTURE IN FULL COMPLIANCE WITH THE BUILDING AND ZONING CODES OF THE CITY OF SEBASTIAN.

NOTE: THIS PERMIT APPLICATION IS VOID AFTER 180 DAYS UNLESS THE WORK, WHICH IT COVERS, HAS COMMENCED. ALL CONTRACTORS MUST HAVE A VALID STATE CERTIFICATION, STATE REGISTRATION, OR CERTIFICATE OF COMPETENCY ISSUED BY THE CITY OF SEBASTIAN PRIOR TO OBTAINING PERMIT.

❖ (ALL ADDITIONS, ALTERATIONS OR REPAIRS MUST HAVE OWNER'S SIGNATURE ON APPLICATION OR PROVIDE COPY OF EXECUTED CONTRACT)

Albert Berry
❖ SIGNATURE OF OWNER/AGENT
ALBERT BERRY
PRINTED NAME OF OWNER/AGENT

DATE: 5/28/2020

Dillon Slater
QUALIFIER'S SIGNATURE
Dillon Slater
PRINTED NAME OF QUALIFIER

DATE: 5/28/2020

❖ Individuals who sign as the owner's agent must first obtain owner's written authorization to sign on their behalf

STATE OF FLORIDA
COUNTY OF

****NOTARY IS FOR QUALIFIER'S SIGNATURE****

I hereby certify that on this 28 day of May, 2020 personally appeared Dillon Slater who is personally known to me or has produced identification.
Type of identification produced: _____

Bonnie L. Kramer
Official Signature of Notary Public

Notary Seal

